



ZONING BOARD OF APPEALS REGULAR MEETING

MONDAY, JANUARY 13, 2020 - 7:00 p.m.

WINNETKA VILLAGE HALL COUNCIL CHAMBERS – 510 GREEN BAY ROAD

AGENDA

1. Call to Order & Roll Call.
2. Community Development Report.
3. Approval of November 11, 2019 meeting minutes.
4. **Case No. 19-31-V2: 377 Walnut Street:** An application submitted by Mark and Ashley Bransfield seeking approval of zoning variations to allow additions to the existing residence at 377 Walnut Street. The requested zoning variations would permit the residence (a) to exceed the maximum permitted building size; (b) to exceed the maximum permitted intensity of use of lot (roofed lot coverage); and (c) to provide less than the minimum required front yard setback. The Village Council has final jurisdiction on this request. *The applicants have requested that this application be continued until a date uncertain; therefore, public notice will be provided when revised plans are submitted for consideration by the Zoning Board of Appeals.*
5. **Continued from the November 11, 2019 meeting - Case No. 19-32-SU: 1255 Willow Road – Winnetka Presbyterian Church:** An *amended application* submitted by Winnetka Presbyterian Church seeking approval of an amendment to an existing Special Use Permit, which allowed the expansion of the church building and reconfiguration of the parking lot to allow construction of a new plaza along Hibbard Road at 1255 Willow Road. The plans have been amended to eliminate the previously requested zoning variation to exceed the maximum permitted intensity of use of lot (impermeable lot coverage). The Village Council has final jurisdiction on this request.
6. **Case No. 20-02-V: 191 Fuller Lane:** An application submitted by William and Beth Cadigan seeking approval of zoning variations to allow an addition to the existing residence at 191 Fuller Lane. The requested zoning variations would permit the residence (a) to exceed the maximum permitted building size; and (b) to provide less than the minimum required side yard setback from the north property line. The Zoning Board of Appeals has final jurisdiction on this request.
7. Other Business.

510 Green Bay Road, Winnetka, Illinois 60093

Administration and Finance (847) 501-6000 Fire (847) 501-6029 Police (847) 501-6034 Community
Development (847) 716-3520

Public Works (847) 716-3568 Water and Electric (847) 716-3558

- a. Comprehensive Plan Status Update.
- 8. Next meeting – February 10, 2020 - Quorum check.
- 9. Public Comment.
- 10. Adjournment

Note: Public comment is permitted on all agenda items.

NOTICE

All agenda materials are available at villageofwinnetka.org (*Government > Boards & Commission > Agenda Packets*).

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that all persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

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**WINNETKA ZONING BOARD OF APPEALS
NOVEMBER 11, 2019**

Zoning Board Members Present: Matt Bradley, Chairman
Sarah Balassa
E. Gene Greable
Wally Greenough
Kimberly Handler
Lynn Hanley

Zoning Board Members Absent: None

Village Staff: David Schoon, Director of Community Development
Ann Klaassen, Senior Planner

**Minutes of the Zoning Board of Appeals
November 11, 2019**

Call to Order & Roll Call.

Chairman Bradley called the meeting to order at 7:00pm. Ms. Klaassen took a roll call vote of the Board Members present.

Community Development Report.

Mr. Schoon stated at the last meeting, the Board reviewed an application for an amendment to a special use for a parking lot at 454-462 Winnetka Avenue. He stated the Plan Commission has since reviewed that request and also recommended approval with a condition that the leases should provide for a 30-day out for the landlord in the event of the need for those parking spaces for tenants. Mr. Schoon stated the request would go to the Village Council next week for consideration. He confirmed the applicant amended the total number of spaces to 12.

Mr. Schoon stated at the last Village Council meeting, the Village Council reviewed a concept plan for the former One Winnetka site for which he would send the Board Members a link to the materials. He stated the Village Council comments included that they felt it was too dense and too many units with one proposal being for 135 residential units and the other for 168 residential units. Mr. Schoon stated the request would have included many studios and one bedroom units. He stated the applicant also requested relief on parking of 1.1 parking spaces per unit with the Village Council commenting that would be too few. Mr. Schoon stated the Village Council only provided comments and it would be up to the applicant to decide whether to move forward in terms of submitting a formal preliminary application. Ms. Balassa informed Mr. Schoon she is not receiving his emails.

Mr. Schoon also stated at the last meeting, the Village Council approved a contract with The Lakota Group to help the Village prepare the Comprehensive Plan. He then stated the Village Council at a study session tomorrow evening would be reviewing two proposals and has received a response to an RFP for the redevelopment on the site at the southeast corner of Winnetka Avenue and Green Bay Road, the former gas station site. Mr. Schoon stated one proposal is for a restaurant with a small gathering element.

1 Chairman Bradley noted Case No. 19-29-SD for 419 and 429 Sheridan Road has been continued to the
2 December 9, 2019 meeting. Mr. Schoon asked for a formal motion to continue the case to the December
3 9th meeting. Ms. Hanley moved to continue the application for 419-429 Sheridan Road to the December
4 9, 2019 meeting. Several Board Members seconded the motion. The motion passed by unanimous voice
5 vote.

6
7 Chairman Bradley swore in those who would speak at tonight's meeting.
8

9 **Case No. 19-31-V2: 377 Walnut Street: An application submitted by Mark and Ashley Bransfield
10 seeking approval of zoning variations to allow additions to the existing residence at 377 Walnut
11 Street. The requested zoning variations would permit the residence: (a) to exceed the maximum
12 permitted building size; (b) to exceed the maximum permitted intensity of use of lot (roofed lot
13 coverage); and (c) to provide less than the minimum required front yard setback. The Village Council
14 has final jurisdiction this request.**

15 Ms. Klaassen stated Mark and Ashley Bransfield, as the owners of 377 Walnut Street, have filed an
16 application seeking approval of three different variations to allow additions to the existing residence.
17 She stated the variations are for Roofed Lot Coverage to allow 2,725 square feet whereas a maximum of
18 2,525 square feet is permitted, a variation of 199 square feet or 7.8% and a GFA variation of 5,213
19 square feet whereas a maximum of 3,686 square feet is permitted, a variation of 1,527 square feet or
20 41.43%. Ms. Klaassen stated it also should be noted the existing home is currently is in excess of the
21 permitted square footage and is approximately 3,770 square feet. She then stated the third variation is
22 for a front yard setback of 26.15 feet from Walnut Street whereas a minimum of 30 feet is required, a
23 variation of 3.85 feet or 12.83%. Ms. Klaassen stated additionally, the existing residence is
24 nonconforming as it currently provides the same setback of 26.15 feet.
25

26 Ms. Klaassen stated the subject property is located on the east side of Walnut Street between Ash and
27 Willow Road and contains an existing 2.5 story residence, an attached one car garage and a storage shed
28 located at the northeast corner of the property. She then stated the residence and attached garage
29 were constructed in 1924 and the applicant acquired the property in 2011. Ms. Klaassen stated the
30 applicants are requesting to remove the one car garage and storage shed and build various additions to
31 the home. She stated the largest of the additions would consist of an attached garage and mudroom
32 with a master suite above. Ms. Klaassen noted the addition would be on the south side of the existing
33 residence. She also stated an addition to the existing foyer is proposed for the front of the home and is
34 the portion requiring relief from the front yard setback. She then stated additions are proposed to
35 provide access to the kitchen along the east and north elevations and the plan includes squaring off the
36 existing sunroom located at the rear of the home to the east.
37

38 Ms. Klaassen stated the proposed additions would add approximately 961 square feet of Roofed Lot
39 Coverage taking into consideration the removal of the existing attached garage and storage shed with
40 the net increase being approximately 593 square feet. She also stated in terms of the GFA variation, the
41 existing improvements currently exceed the maximum permitted by 84 square feet with the net
42 increase in GFA being 1,443 square feet. Ms. Klaassen reiterated the front yard setback is currently
43 nonconforming at 26.15 feet and the proposed addition would be in line with that elevation.
44

45 Ms. Klaassen stated the Board is to consider whether or not the proposed variations meet the standards
46 for granting such variations and following public comment and Board discussion, the Board may make a
47 recommendation to the Village Council regarding the requested relief. She noted a draft motion is
48 provided on page 6 of the agenda report and asked the Board if they had any questions.

1 Chairman Bradley also asked if there were any questions. He then stated the reason the Board is a
2 recommending body in this instance is because of the GFA and Ms. Klaassen confirmed that is correct.
3 Chairman Bradley then asked if the GFA variation request was below the 10% threshold, would the
4 Board retain control of the entire application or would it still go to the Village Council for approval. Ms.
5 Klaassen confirmed the Board would retain control if the request was below 10%. No additional
6 questions were raised at this time.

7
8 Mark and Ashley Bransfield introduced themselves to the Board. Mrs. Bransfield stated they have lived
9 in the home since November 2011 and they worked through a lot of permutations as to how to get the
10 home up to modern standards. She described the garage as exceptionally small which they cannot park
11 their vehicle and which was the impetus to having the garage located on the other side. Mrs. Bransfield
12 stated their biggest challenge is the four old oak trees on the property which are almost 200 years old.
13 She stated the only way to redo the garage and not destroy the trees is to put the garage on the right
14 side of the home. Mrs. Bransfield referred to photos of the trees on the front of the garage to the north
15 and another at the rear of the home. She stated anything done to the rear of the home would affect the
16 trees' root systems. Mrs. Bransfield also stated the neighbors have trees near the fence which would
17 also be affected by any work done in that area.

18
19 Mr. Bransfield informed the Board Jim Stier saw the property and discussed the trees' health and
20 provided them with a list of certified consultants to assist in their planning. He stated they moved to
21 Winnetka because they love trees and appreciate the green space which they use every day. Mr.
22 Bransfield stated that limited their options for any work to be done to the home. Mrs. Bransfield stated
23 the home is an older style home and there have been some additions since 1924. She then stated there
24 are structural issues at the back of the home and referred to the sunroom and patio slab with settling
25 issues to be addressed. Mrs. Bransfield stated that portion did not have a basement underneath it while
26 the rest of the home did which is under 7 feet. She stated they do not have the ability to raise the
27 basement walls.

28
29 Mrs. Bransfield then stated the home did not have a master bath suite and the bathrooms are very
30 small. She stated in doing the garage component, they would be able to add that over it. Mrs. Bransfield
31 informed the Board there are four bedrooms on the second floor and they planned to eliminate one to
32 expand it and incorporate the mechanicals in that area. She then stated for the mudroom which would
33 go on the back of the garage, it would be designed to keep an arched window that the mudroom would
34 attach into the sunroom. Mrs. Bransfield stated the depth is situated so that the entrances are for the
35 addition and they would come through where the architectural elements of the brick are since they do
36 not want to damage the brick and mortar too much. She also stated on the upstairs portion, they would
37 be going through the windows. Mrs. Bransfield then asked if there were any questions. She added for
38 the home and modernization issues, they are almost at the point where the home would be a teardown
39 due to the complexity of the trees. Mrs. Bransfield then stated if the home was sold as a teardown, the
40 trees would be razed and they are trying to update the home to have efficiencies for today's modern
41 living with a mudroom, garage and bathrooms. She commented the plans do not fall outside of the
42 character of the neighborhood or surrounding streets. Mrs. Bransfield informed the Board their
43 neighbors are supportive of their request. Mr. Bransfield added they love the home and the
44 neighborhood and would be in the home a long time and they want to make the home more livable and
45 practical.

46
47 Chairman Bradley asked if there were any questions for the applicants. Mr. Greenough stated he is
48 sympathetic to their desire to save the trees and their desire for a new garage and master bedroom

1 suite. He stated he is troubled with the size of the project and asked what did the proposal for the
2 amount of square footage hope to accomplish. Mrs. Bransfield responded it related to the side entrance
3 and referred to the area which would become green space on the left side and for access to that side of
4 the property. Mr. Greenough asked if they would have the same access for the east side entrance. Mrs.
5 Bransfield stated the area is not usable since it did not have overhangs and identified the area of the
6 prior additions with the doors coming in on one another. She also stated they cannot take the brick
7 portion down which is why that area is pushed out a little. Mrs. Bransfield stated the north area is to
8 have ingress and egress to the kitchen.

9
10 Mr. Greenough then stated the garage would be 29.5 feet long and asked if they could reduce it by 5
11 feet. Mrs. Bransfield responded it is based upon where the windows are on that side of the home and
12 they would have to come down more than 6 feet in order to drop it down that size. She also stated the
13 fireplace would be located within the garage and protruded out the side. Mrs. Bransfield stated they
14 would have to push back toward the width of the window and stated there are two windows.

15
16 Chairman Bradley asked if they planned to close off the windows and their intention cannot be to have
17 two windows looking into the garage. Mrs. Bransfield stated the plan is to close them off and otherwise,
18 they would have to go back the whole distance. She stated if they were to shorten it from the back, it
19 would affect the mudroom and enormous arched entryway into the sunroom from which the mudroom
20 is based. Mrs. Bransfield informed the Board the sunroom is brick and is the original portion of the
21 home. Ms. Handler stated it appeared the 8 foot mark from the front of the garage went beyond the
22 window by a couple of feet. She suggested the garage be pushed back 6 feet and have a smaller
23 window. Mrs. Bransfield responded it would be hard to take anything out of the brick.

24
25 Chairman Bradley asked Village staff if the requested width and depth is typical. Ms. Klaassen responded
26 the applicants are proposing a width of 22 feet with 9 foot doors which is typical. She added the depth is
27 longer than what they would typically see. Chairman Bradley asked if the reason for the longer garage is
28 to satisfy the connective back half where the mudroom met the sunroom. Mrs. Bransfield confirmed
29 that is correct along with the fact they are removing the shed and that it would allow them an element
30 of storage in that space. Mr. Bransfield also referred to the architectural detail they were trying to work
31 with and make the entryway into the mudroom.

32
33 Chairman Bradley stated it seemed plausible to reduce the size of the garage by pushing in from the
34 front of the home to the full distance of 8 feet beyond where the window is located which would allow
35 natural light into the living room and would not require a variance. He stated that alternative would
36 reduce the RLC coverage by 180 square feet. Chairman Bradley stated the Board has to consider whether
37 there is a viable alternative which would not require a variance. He stated that alternative would also
38 satisfy the need to have a two car garage and for it to be on the side of the home they are requesting
39 and preserve the existing trees.

40
41 Ms. Hanley asked if they considered staying on the north side, to push back and have a detached garage.
42 She stated the driveway would fit between the trees and the garage can be built at the back of the
43 property where the shed is located. Mrs. Bransfield responded they would need a variance for the
44 distance. Ms. Klaassen stated they would possibly need a 6 foot setback for the garage. Mrs. Bransfield
45 stated that would affect the tree root systems and the tree would have to come down.

46
47 Chairman Bradley asked if they could be granted relief for having the garage in the back. Ms. Klaassen
48 responded they could be as close as 2 feet and there would be a 400 square feet GFA allowance for a

1 detached garage. Chairman Bradley stated the current proposed location for the garage is causing one
2 of the three variations. Ms. Klaassen confirmed there is no allowance for a front facing attached garage.
3 Chairman Bradley asked if there were any other garage questions.
4

5 Ms. Handler stated in looking for ways to save square footage, she questioned the size of the laundry
6 room. Mrs. Bransfield stated the basement is not large and if they were to finish it, they would have to
7 lower the ceiling since it did not have high ceilings. She also stated it would be better to not have the
8 laundry room on that level.
9

10 Chairman Bradley then stated part of the application, it was mentioned they do not have a master
11 bedroom suite. Mrs. Bransfield responded there is a master bedroom but they do not have a master
12 bath or closet. She then stated while it is an on-suite, it has a very small bathroom. Chairman Bradley
13 stated there is a credible need for a garage which is a requirement for a typical Winnetka home and the
14 current garage did not meet that requirement. He also stated the garage is providing the impetus to
15 create the master suite upstairs and bootstrap on other projects which cause GFA to be called into
16 question. Chairman Bradley then stated the master bedroom/master suite is being proposed over the
17 garage and while he conceded the existing master suite is not of standards to their liking, its existence
18 provides that standard has been met and although they would like a bigger one, he asked the applicants
19 to speak to the design decisions made for the master bedroom above the garage since it would extend
20 straight above it. He referred to Figure A-3 in the packet. Mrs. Bransfield stated when they started the
21 project, they asked the Village regarding the viability of the garage and master suite since they were not
22 what you would look for in modern homes today. She also stated they looked at extending the existing
23 garage and add the master suite since it is where it is currently located on the north side as the original
24 plan but that would require foundation support which would damage the three trees' root systems.
25

26 Mrs. Bransfield then referred to the tree near the kitchen and stated any work done would affect that
27 tree which prompted them to consider the other side of the home. She stated they also want it to look
28 harmonious with the façade. Ms. Handler asked if they explored annexing the study for use as a walk-in
29 closet and reworking the existing square footage. Mrs. Bransfield responded they did and stated the loft
30 was remodeled with the stairs not being to code. She also stated there are a lot of support walls in that
31 area. Mr. Bransfield described the area as an attic. Mrs. Bransfield confirmed they considered shifting
32 room sizes but need to increase the size of the existing shared bathroom since it is also small. She also
33 stated it depended on how much room the mechanicals took and while it is a large home, the costs
34 dramatically increase when they look at shifting structural walls due to the layout. Mrs. Bransfield
35 described the iron stacks and radiator systems which would need to be moved in alternative options.
36 She stated adding a lot of costs to structurally change the home now would not even out down the line
37 in terms of the home's resale value and they have to take their budget into consideration. Mr. Bransfield
38 described the layout of the bedrooms, bath and the room considered as the study.
39

40 Mr. Greenough stated if the garage is shortened in the manner previously suggested, they would only
41 have to reduce the area on the second floor by approximately 4 feet. Mrs. Bransfield responded they
42 would be open to that alternative. Mr. Bransfield then stated they considered expanding into the
43 northeast corner of the home which was not a viable alternative. Mrs. Bransfield added it would be less
44 expensive for them to remove three trees as opposed to the current proposal.
45

46 Chairman Bradley stated in terms of the applicants' proposal, they have to stay within the zoning
47 ordinance provided and if it is determined there is a need for relief, it would be because the standards
48 are met that the property required relief and considering the mitigating factors in considering whether

1 to grant relief, the Board has done their part. Mrs. Bransfield responded they understood and confirmed
2 the home is nonconforming to begin with and that is the challenge in their neighborhood with regard to
3 older homes. Chairman Bradley stated in terms of the proposed additions and entrances, it appeared as
4 though they would be squaring off the home. He then stated with regard to the front foyer overage of
5 20 square feet, it would not have a significant effect on the overage requested and he asked the
6 applicants to explain the proposed foyer addition in the front. Mrs. Bransfield asked what they were to
7 push back the garage. Chairman Bradley stated they would be at the maximum GFA capacity they could
8 have, that reduction by bringing it in 8 feet would not reduce the overage that much. Mr. Bransfield
9 stated the front foyer was thought of as a way to work within the existing footprint and grandfather it
10 in. He then stated with regard to the profile of the home, it has one of the older grocery delivery
11 vestibules and they cannot shut the door. Chairman Bradley stated most homes in Winnetka do not
12 have a foyer and it is not necessary for the home, as opposed to curing the garage situation being the
13 crux of the request. He also questioned the north entrance. Mrs. Bransfield stated it would be an
14 entrance to the kitchen for the home and provide a storage area for garbage cans near the kitchen.
15 Chairman Bradley referred to the illustration on page 32. Mrs. Bransfield identified the location for the
16 garbage cans.

17
18 Chairman Bradley asked the applicants to explain the proposed east entrance. Mrs. Bransfield stated it is
19 an existing entrance and is a non-working double door. She also stated it is arched and is brick and they
20 would like to bring the entrance forward slightly and for it to be a single entrance. Chairman Bradley
21 then asked what is the purpose of squaring off the corners of the sunroom. Mrs. Bransfield responded
22 the architect suggested it be done for foundational reasons since there is some slab collapsing and
23 referred to the area where the brick and siding met.

24
25 Chairman Bradley referred to the washer and drawer on the first floor and asked if the plans called for
26 them to be situated upstairs. Mrs. Bransfield stated they considered it and due to the structural issues
27 and running the plumbing, it would have been complicated. Chairman Bradley stated the Board cannot
28 grant a variance if there is a viable option which exists where there are alternatives even if they are
29 more expensive. He then stated given the space they have on the second floor, he found it hard to
30 believe an architect could not find a solution. Chairman Bradley asked if there were any other questions.

31
32 Mr. Greable stated in hearing the comments, he stated he is concerned with GFA. He then referred to
33 page 17 and the reasonable return standard and the applicants' response. Mr. Greable stated their
34 response that the greatest return on the investment is not for the Board to consider and described the
35 GFA request as excessive. He stated the applicants are not entitled to the greatest return but only
36 reasonable return.

37
38 Chairman Bradley called the matter in for discussion and noted the Board is a recommending body to
39 the Village Council. He then asked if there were any comments from the audience. No comments were
40 made at this time.

41
42 Ms. Balassa stated she agreed with Mr. Greable they are going too far. She then stated if the garage was
43 done properly, she would support it. Mr. Greenough stated he supported the idea of the garage and
44 bedroom suite on top that can be smaller. He stated they can work with the architect on those two
45 things and to reduce the amount of square footage. Mr. Greenough then stated if the applicants
46 proceeded with this proposal, he would vote against it. Ms. Hanley stated she is a firm believer in the
47 zoning ordinance which helped them have a diverse housing stock. She also stated every home did not
48 have to have three bathrooms and five bedrooms and a new construction, modern home. Ms. Hanley

1 stated they can be creative with an older home and the applicants have a great deal of space. She then
2 stated she cannot see where any of the proposal would work for her and reiterated not every home can
3 have the amenities being requested here. Ms. Hanley stated this request fell way outside of the confines
4 of the zoning ordinance and none of it would work other than having a detached garage and even with a
5 small or more reasonable variance, a garage is definitely necessary. She also stated they have to make
6 do with the space they have and they can still yield a very reasonable return in working with the space
7 they have. Ms. Hanley concluded she would deny the request in its entirety.
8

9 Ms. Handler stated she agreed with the comments made and cannot support the plan as presented. She
10 then stated there are a lot of other options they can pursue with the architect such as a detached
11 garage, reworking the master suite in the existing home, etc. to minimize the increase in square footage.
12 Ms. Handler commented it is a beautiful home which is generously sized for the size of a two acre lot
13 and there are ways to address their concerns without asking for such a large variation. Mr. Greable
14 stated he would support the garage and agreed with the comments made with regard to RLC. He stated
15 his main concern related to GFA and the proposed GFA, they are asking for 5,213 square feet where the
16 maximum permitted is 3,770 square feet which is 55% of the lot size. Mr. Greable described the request
17 as way out of line and inappropriate and he would not support it. He again referred to the applicants'
18 response to the reasonable return standard and he would not be in support.
19

20 Chairman Bradley stated he is more sympathetic to the applicants' situation and given where they are in
21 square footage which is 84 square feet over GFA allowed on the property, the Board would be derelict in
22 their duty if they were to deny a variance to allow for a proper garage unless they were able to put it in
23 the back of the property. He stated they would still have to grant a variance for the garage which he
24 commented can be made smaller. Chairman Bradley stated the Board's concerns relate to the scale and
25 scope on the property, but it made sense if they were to cure the biggest problem which is an
26 inoperable garage and take advantage of that in making other projects the applicants deem appropriate,
27 the execution is too extreme in what the Board can say meets the threshold in terms of what is
28 necessary from a reasonable return perspective. He then suggested they give the applicants the ability
29 to withdraw their application to reconsider whether there is a proposed version which would be more
30 palatable to the Board and get a different outcome or they could go ahead with a vote which may be a
31 motion recommending denial.
32

33 Mr. Schoon stated rather than withdraw the application, the applicants could ask for a continuance.
34 Chairman Bradley agreed and stated the applicants could ask for a continuance to another meeting.
35 Mrs. Bransfield referred to protecting the trees and stated with regard to the comments for a detached
36 garage, she referred to talking to other arborists and getting more information on the effect to the
37 trees. She then stated for a detached garage, she would like to get the opinion of a professional arborist
38 for the Board's consideration. Mrs. Bransfield agreed to ask for a continuance. She then described the
39 process in considering the project for the last two years and the fact they are receiving a very different
40 opinion from the Board in their attempt to stay in the home as opposed to having it be torn down. She
41 also stated there is a lack of information in the materials regarding the direction they should take and
42 described the whole process as a disconnect.
43

44 Chairman Bradley stated they appreciated their comments but the code has a zoning ordinance which
45 they have to enforce which sometimes does not square in terms of the aspirational thoughts of the
46 homeowner. He stated they must reserve variances for situations where the standards have truly been
47 met where there is no other viable alternative. Chairman Bradley stated there is support for a garage
48 but an ability for the applicants to make the size, scale and scope of the project to not have a 44%

1 overage for what they have to beholden to in terms of the ordinance. He encouraged the applicants to
2 work with their architect and agreed with their need to have a garage with a GFA variation over what
3 they are already allowed with the square footage of the garage being the minimum for a variance to be
4 granted to build it. Chairman Bradley stated the applicants should be able to come back with a project
5 that would be more palatable to the Board and approved by the Village Council. He then referred to
6 cases where future applicants would use their request as a basis for their approval request.

7
8 Mr. Greenough stated he would be surprised the applicants would have been told anything other by the
9 Village staff that the smaller the variation request, the more likely it would be approved. Mr. Bransfield
10 stated the process is new to them and confirmed they were not misled by the Village staff. He stated
11 they were advised that the Board did not function on a precedent basis which helped them proceed
12 with their application. Mr. Bransfield agreed a continuance made sense and they appreciated the input
13 and they would go back to the drawing board to see what they can come up. Chairman Bradley stated
14 the applicants received a good solution to place the garage in the back of the property on the north side
15 with the Board being cognizant of the lengths which they would grant variations.

16
17 Chairman Bradley then asked for a motion. Mr. Schoon informed the applicants the next meeting is
18 December 9, 2019 and they would need revised plans by November 25, 2019 in order for the matter to
19 be considered at the December meeting. He also stated that the application would need to be
20 continued to a date specific. Chairman Bradley again asked for a motion to continue the case to the
21 December 9, 2019 meeting. Ms. Hanley moved to continue the matter to the December 9, 2019
22 meeting. Mr. Greenough asked the applicants if two weeks would be enough time to represent and
23 noted there is a meeting in January. The motion was seconded by Mr. Greenough. The motion passed by
24 unanimous voice vote.

25
26 AYES: Balassa, Bradley, Greable, Greenough, Handler, Hanley

27 NAYS: None

28
29 **Case No. 19-32-SU: 1255 Willow Road - Winnetka Presbyterian Church: An application submitted by**
30 **Winnetka Presbyterian Church seeking approval of an amendment to an existing special use permit,**
31 **which allowed the expansion of the church building and reconfiguration of the parking lot and a**
32 **zoning variation to allow construction of a new plaza along Hibbard Road at 1255 Willow Road. The**
33 **requested zoning variation would permit the improvements to exceed the maximum permitted**
34 **intensity of use of lot (impermeable lot coverage). The Village Council has final jurisdiction on this**
35 **request.**

36 Ms. Klaassen stated the application submitted by Winnetka Presbyterian Church as owner of the
37 property is seeking approval of an amendment to an existing special use for a church located in the R-5
38 single family residential district and approval of a zoning variation to allow impermeable lot coverage of
39 77,110 square feet whereas a maximum of 41,998.5 square feet is permitted, a variation of 35,111
40 square feet (83.6%). She stated it is important to note the site currently contains approximately 76,567
41 square feet of impermeable lot coverage and the variation request is to allow a proposed plaza along
42 Hibbard Road or the west elevation of the existing church. Ms. Klaassen also stated the plaza and
43 proposed crush stone path would add 543 square feet of impermeable lot coverage.

44
45 Ms. Klaassen then stated the subject property is located at the northeast corner of Hibbard Road and
46 Willow Road and contains an existing church. She stated in addition to residential uses, the district
47 allows a limited range of additional uses by special use permit such as schools, libraries, churches,
48 temples, etc. Ms. Klaassen stated in February 2000, the Village Council adopted Ordinance M-1-2000

1 granting a special use permit and variations to permit the expansion of the church building with the
2 variations granted being for RLC, GFA, impermeable lot coverage and front yard setback from Willow
3 Road to allow for the parking lot.
4

5 Ms. Klaassen stated the proposed improvements are intended to provide direct access from inside the
6 church to the existing columbarium located on the exterior southwest corner of the church as well as a
7 plaza to accommodate a small group gathering for memorial services. She stated the improvements
8 consist of a new door on the exterior wall facing north, permeable pavers for the plaza, a crushed stone
9 path from the plaza to the north driveway and three exterior skylights to cover three existing openings
10 in the roof overhang. Ms. Klaassen noted no expansion to the church itself is proposed.
11

12 Ms. Klaassen then stated the subject property and surrounding neighborhood are located within the 100
13 year flood plain and the improvements must comply with the Village's flood hazard protection
14 ordinance as well as storm water regulations. She stated the applicant is currently working with the
15 Village engineering staff to comply with both. Ms. Klaassen stated in addition to the amendment to the
16 existing special use, a variation is needed for impermeable lot coverage and the proposed net increase is
17 adding .7% or 543 square feet. She noted the Plan Commission is scheduled to consider the special use
18 on November 20, 2019 and the DRB is scheduled to consider the Certificate of Appropriateness for the
19 exterior improvements on November 21, 2019. Ms. Klaassen also noted the special use and zoning
20 variation are all subject to approval by the Village Council.
21

22 Ms. Klaassen stated the Board is charged with evaluating special uses for the six standards for granting
23 special uses as well as the eight standards for granting zoning variations. She then stated following
24 public comment and Board discussion, the Board may make a recommendation to the Village Council
25 regarding the requested relief noting a draft motion is included in the packet on page 6. Ms. Klaassen
26 then asked if there were any questions.
27

28 Chairman Bradley also asked if there were any questions. Mr. Greenough asked Ms. Klaassen in which
29 direction did water flow and whether it flowed toward Ash or Willow Road. Ms. Klaassen responded the
30 parking lot was built in the 1960's to be above existing grade with a concrete wall around the north and
31 east property lines so that the water did not naturally flow toward the properties on Ash and water is
32 blocked by the wall and pooled. She then stated she cannot attest to the actual direction of water
33 flowing for the proposed improvements only to note the Village engineers indicate it is allowed if it is
34 built at grade and did not cause adverse impact to neighboring properties. Ms. Klaassen noted detention
35 would be provided for the increase in impermeable lot coverage which would be reviewed by the Village
36 engineers and which the applicant's architect can speak to as well as verify they are not putting any fill
37 in the flood plain.
38

39 Ms. Balassa stated the existing wall did not allow for natural water flow and if a variation is granted, she
40 asked if there is any precedent required by the Village that they fix the problem created in the past. Ms.
41 Klaassen responded the Village would not require them to change the existing parking lot but only that
42 the proposed improvements must comply. Chairman Bradley asked if approval can be made contingent
43 on the Village engineering coming to satisfactory determinations that the drainage and detention is
44 done as part of the project. Ms. Klaassen confirmed that is correct. Mr. Greenough asked if the
45 detention would only be for the proposed improvements and Ms. Klaassen confirmed that is correct.
46

47 Ms. Balassa asked if anything has been done in the past to mitigate that problem. Ms. Klaassen stated
48 she cannot answer that. Mr. Greenough asked if the Board can add a recommendation to any approval

1 to add something to mitigate problems caused by the wall. Ms. Klaassen stated the Board's review
2 would need to be focused on the proposed improvements.

3
4 Robert Lewis introduced himself to the Board as a church member and elder responsible for buildings
5 and grounds who has worked on the project for two years. He introduced the architect, Fernando
6 Alessandrini of JNKA Architects. Mr. Lewis then stated the written narrative submitted with the
7 application also defined the project.

8
9 Mr. Lewis referred to the PowerPoint presentation and identified the slide showing the improvements
10 made in 2000. He identified Willow Road and Hibbard Road and the yellow lines which represent the
11 additions done in 2000 as well as the Christian Life Center. He then referred to the school addition. Mr.
12 Lewis also identified the columbarium which is an open space with a west wall facing Willow Road and
13 which has no access into the sanctuary. He stated the skylights are over the existing openings and
14 identified the roof overhang and stated the proposed plaza would sit over that area. He then referred to
15 three Ash Street neighbors who commented on the request and he would identify how the structure
16 relates to their property.

17
18 Mr. Lewis referred to the third slide and the improvements from 2000. He stated by the expansion of
19 the space, they have been able to open their facilities on a larger scale. Mr. Lewis described the services
20 they now are able to offer. He stated the next slide identified the church and original entrance on
21 Willow Road which is used as needed. Mr. Lewis also identified the path into the columbarium as well as
22 the blue stones leading to the columbarium which he described as difficult for those in wheelchairs or
23 those that use walkers. He identified the columbarium added in 2000. Mr. Lewis stated the parishioners
24 asked for a way to get to the columbarium from inside and identified the proposed entrance to the
25 columbarium from the church. He stated the solution is there; there is space in front of the
26 columbarium of grass and blue stones for this access and they are requesting a door and plaza be
27 created in this area with half being underneath the existing overhang. Mr. Lewis described the solution
28 as being in plain sight and the purpose for the request is to improve the ministry for the congregation.

29
30 Mr. Lewis then referred to an illustration of the project with the south end of the sanctuary being
31 remodeled and a door to be added in this area. He also identified the plaza, columbarium and stone
32 pathway north to the driveway. Mr. Lewis also referred to a view of the west wall and the three
33 openings where skylights would be placed. He also identified the view from the street. Mr. Lewis then
34 stated with regard to landscaping, he identified the berm between two trees and noted there would be
35 no additional water transmission toward Hibbard Road which would be protected by the berm. He also
36 stated additional plantings would be installed to shield the area. He noted they are working with the
37 Village Forester as well. Mr. Lewis then identified the proposed door and concluded by stating the
38 request is being done for safer accessibility to the church.

39
40 Mr. Allesandrini stated there is the door opening on the north facing wall to exit the sanctuary to the
41 columbarium and new plaza to allow members to gather in this area. He also identified the three
42 skylights, the crushed stone path. Mr. Allesandrini then stated the place closest to the street would be
43 13 feet 9 inches with little visibility from the street. He stated the plaza would be designed with Unilock
44 pavers which would allow for water to go through and be gathered underneath. Mr. Allesandrini stated
45 the circle would have a 12 foot radius with two different colors matching the columbarium and stone on
46 the façade. He identified the elevation showing the columbarium wall and the area in white as the new
47 area. Mr. Allesandrini stated the only portion being added is the door with the exterior plaza and around
48 it where they are toothing in the stone. He noted they would reuse as much of the existing stone as

1 possible and noted they are trying to match as closely as possible the line of the existing grade and
2 identified the dotted dark line to match the existing slope and it would not affect water flow. He also
3 stated they would ensure wheelchairs would be able to exit at the same level as the church. Mr.
4 Allesandrini also stated they need to compensate for every inch of impermeable surface created by the
5 project to ensure water ran away from the building.
6

7 Mr. Allesandrini identified the view from Hibbard and the skylights visible from the front elevation but
8 not visible from the sidewalk. He also identified the new pavers for the plaza at grade level and it would
9 not make the permeability of the surface any worse. Mr. Allesandrini then stated in the next slide, he
10 identified the civil engineer's drainage design and the area raised 2-3 inches to ensure water ran in a
11 certain direction away from the columbarium and the existing building. He noted they would connect to
12 the existing storm sewer system and identified the existing drain system. Mr. Allesandrini stated they
13 planned to add another drain to connect to the sewer which would not overburden the site to be later
14 released into the sewer system. He reiterated the roof overhang line, where half of the plaza and pavers
15 are underneath it, was considered as impermeable area in 2000 and they would only be adding half of
16 the area of pavers as the impermeable area in addition to the stone path going north.
17

18 Mr. Allesandrini then referred to the paver system area near the church wall which would contain
19 Unilock pavers and two layers of evergreens and rock bed which would contain and hold water. He also
20 referred to the slope of compacted clay and stated they would be adding a Geotech 7 inch fabric to
21 ensure the water would run away from the building and into the drain underneath the plaza. Mr.
22 Allesandrini stated there would also be a concrete curb to ensure the pavers do not move and to hold
23 the crushed stone in place and retain water.
24

25 Mr. Allesandrini stated with regard to the zoning calculations used for the project, he noted there is a lot
26 area of 84,000 square feet and the permitted roofed lot coverage is 21,000 square feet with 33,725
27 square feet of RLC approved in 2000. He also stated for the impermeable the lot area allows for 42,000
28 square feet and the 2000 ordinance allowed it to be 76,566 square feet. Mr. Allesandrini stated they are
29 proposing with the concrete curb of 22 square feet, permeable pavers of 393 square feet, the crushed
30 stone path of 256 square feet the total impermeable area would increase to 77,000 square feet or less
31 than 1% over the existing condition. He noted they are complying with the corner yard coverage. Mr.
32 Allesandrini referred to an illustration of the existing plan and the new plan.
33

34 Chairman Bradley asked if there were any questions. Mr. Lewis referred to the summation of the two
35 Ash Street messages with the third received today. He stated for the structure, driveway and parking lot
36 in place since the 1960's, it diverted water to the Ash Street properties. Mr. Lewis referred the Board to
37 a satellite view of the properties and identified the white line as the concrete wall with the circular areas
38 being storm water sewer drains to help with storm water sewer management. He confirmed they are in
39 compliance with those elements. Mr. Lewis then stated the wall is 4 feet tall with 3 feet buried and the
40 top of the wall is even with the highest point of Hibbard Road and their driveway is level with the
41 sidewalk. He also stated it formed a barrier to water moving north since there would be sewers
42 capturing water heading in that direction. Mr. Lewis then referred the Board to a photo looking south
43 where there is a downward slope. He also referred to a photo of the wall extending the full length of the
44 driveway and the Ash Street neighbors. Chairman Bradley stated the Board's function is not to solve
45 whether or not drainage issues on Ash Street are a result of the parking lot already there. He stated the
46 Village engineers would make that decision. Mr. Lewis stated they want to be conscious of the
47 neighbors' concerns. Mr. Allesandrini stated they want to ensure the Board is aware they are addressing
48 the neighbors' concerns.

1 Chairman Bradley asked if there were any questions for the applicant. Mr. Greenough stated the way
2 the drainage is designed, there would be little or no additional water remaining on the surface. He
3 stated if there is the slightest possibility for any of that water going back to Ash Street, he would be
4 concerned. Mr. Allesandrini responded no water would go toward the street and the system is designed
5 so that the water would go through the pavers and collect in the drain system underneath. Ms. Balassa
6 stated after a large storm, that entire area is completely overwhelmed. She stated if their system is
7 filtered properly, she stated she is confused as to whether any more impermeable surface regardless of
8 the flow, the system would not be able to absorb any additional amount of water. Mr. Allesandrini
9 responded for the under drain system, they would not make the system worse than it is.

10
11 Chairman Bradley stated if the church was located in a community which had no flooding problems of
12 any kind, he did not know how a 543 square foot variance being requested is being met. He stated in
13 creating a door from the parish into the vestibule to access the columbarium, he did not hear a valid
14 reason for a plaza to be created in that space or need for a gravel path leading to the farthest
15 northernmost part of the church. Mr. Allesandrini stated the main reason for the plaza design is the
16 control of the threshold effect which he described as being similar to a mudroom. He stated it would be
17 for the ability of parishioners to pray or say goodbye to a loved one prior to interment. Chairman
18 Bradley asked why that cannot be done inside the church. Ms. Hanley asked where is that being done
19 now. Mr. Lewis indicated it may be done in the main sanctuary. He referred to the 2000 approval of the
20 space addition.

21
22 Chairman Bradley stated the plaza, brick and stone paver path of 543 square feet is what the Board is
23 discussing noting the skylights and door make sense. He asked the applicant to explain how it would
24 meet the reasonable return standard. Mr. Lewis stated there is currently grass outside the columbarium
25 and it is not wheelchair accessible. Chairman Bradley stated he has not heard the applicant explain the
26 need for 543 square feet in order for them to make use of the columbarium. Mr. Allesandrini informed
27 the Board the columbarium is very narrow and there is a need for a place for gathering before going into
28 the columbarium and it is difficult to gather people outside of the space. Ms. Balassa stated that can be
29 done on the inside of the church. Mr. Allesandrini stated there is a need for wheelchair access. Ms.
30 Balassa stated there are alternatives of where gathering can be done inside. Chairman Bradley stated a
31 large percentage of the circular area is not necessary to achieve their goal nor the stone path.

32
33 Ms. Hanley stated she did not understand the layout of the church and asked if it would only be used for
34 funerals. Mr. Lewis stated it would be used for interments and other gatherings. She asked if it would be
35 a patio and if the front entrance to the church is off the circular driveway. Mr. Lewis confirmed that is
36 correct. She then asked during interments, is there a coffin. The Board Members responded it would be
37 ashes. Mr. Allesandrini stated the columbarium is a series of small spaces on a wall where the ashes are
38 placed in side with a stone over it following the church service. Ms. Hanley asked if the space is being
39 used now for this purpose but is not safe or accessible for certain congregation members. She also asked
40 what is the purpose of the gravel walk to the driveway. Mr. Lewis stated when the church is closed;
41 people would have to go across the north lawn. She asked if they can live without the gravel path. Mr.
42 Lewis agreed that could be eliminated.

43
44 Ms. Balassa stated during a service with an interment, the church is open. She asked if this would only
45 be for after hour visits to make it aesthetically more attractive. Mr. Allesandrini stated the interment of
46 a person is a special, sacred moment which deserved a special indoor and outdoor space. Ms. Balassa
47 stated the Board has to balance what their guidelines are with the applicant's interpretation of that
48 tradition and that it is currently being done inside. She agreed the door to exit made sense and the

1 applicant's request to have a large outdoor space for the service to be done is a matter of interpretation
2 and is debatable.

3
4 Chairman Bradley asked if there were any other questions. A Board Member referred to a photo of
5 gutters coming down on the columns near the overhang. Mr. Lewis noted any water runoff would be
6 directed toward Willow Road. Chairman Bradley asked if there were any comments from the audience.

7
8 Ken Siavelis, 1220 Ash Street, stated the purpose of having permeable surface is to allow water to go
9 down through the ground and asked why the applicant is proposing to direct water to the sewer system
10 to an already existing problem. Chairman Bradley asked if there were any other comments.

11
12 Arlene Siavelis, 1220 Ash Street, stated from the time they bought their property and came before the
13 Board with regard to renovations, they have had problems. She then stated she understood the
14 applicant's request and the water they have to deal with. Mrs. Siavelis stated this issue is very important
15 to Ash Street and they have done more than any other home on that street to remedy the problem. She
16 stated the Board must think carefully before granting variations. Mrs. Siavelis informed the Board when
17 they did their renovation, there is a section between the church and fence which was being used as a
18 dump. She concluded by stating they do not want to get any more water.

19
20 Bill Hyatt, 1240 Ash Street, informed the Board they moved into their home in 2016 and knew there
21 were water issues in the area which they were told were manageable. He stated they have severe
22 flooding with every rain at least eight times a year. Mr. Hyatt then stated while it seemed like a small
23 deal of .7%, he referred to the previous application which was denied when requesting 85%. He stated
24 anything additive to the water problem in the area is a reason to turn it down. Mr. Hyatt also stated he
25 was glad to hear the Board holding to the standards and described this application as being given a lot in
26 the past and are now asking for a little more. He then stated although there are only five neighbors
27 here, he spoke to other residents who are against it and were cynical about the process. Mr. Hyatt asked
28 the Board to not base their decision on only five neighbors being present but there are a lot of
29 neighbors against it. He then asked how many niches are there in the columbarium and how many are
30 left. Mr. Lewis stated the rate of cremations has steadily increased and they have had 3-6 people within
31 the last few weeks and estimated there to be 43 niches out of 200 purchased for future use.

32
33 Chairman Bradley asked if there were any other comments from the audience.

34
35 Leslie Farmer, 388 Berkeley, stated her driveway faces Ash Street and she agreed with the comments
36 made. She stated they have been dealing with storm water for a long time and described the area as
37 ground zero in terms of water. Ms. Farmer stated while there have been plans to solve some of the
38 flooding issues, none are in place. She stated the Village has spent millions trying to find solutions and
39 until they do, she agreed with neighbors and if they had known in 2000 the issues they would have with
40 aging infrastructure and 100 year storms, they may not have approved those tremendous variances for
41 a property which is at ground zero for flooding. Ms. Farmer also stated the project is a nicety, not a
42 necessity and they have interred members without having a paved patio. She concluded by stating for
43 what the church has already received in variances, it was a mistake in approving it in 2000.

44
45 Chairman Bradley asked if there were any other questions.

46
47 Mr. Greenough asked does water flow over the wall after a heavy rain. It was confirmed it does not flow
48 over the wall. Ms. Balassa asked if the wall dammed the natural water flow. Ms. Handler stated with

1 regard to the issue of safety and accessibility for those attending, given what the Board heard, she asked
2 if that issue could be addressed by scaling it back with a smaller patio for use for those with mobility
3 issues with some members standing on the grassy area. Mr. Allesandrini responded for a group, those
4 gathering outside before entering the columbarium, it would be too small. He then stated they
5 attempted to make the area as small as possible knowing the church is currently noncompliant and
6 which is why they chose Unilock pavers to make it permeable and make the project the least impactful
7 as possible.
8

9 Mr. Greable asked if any other options were considered and if options previously dismissed can be
10 reconsidered. Mr. Lewis responded one would be to eliminate the stone path. He stated in terms of
11 what is accessible and under the door, some hard surface is needed for wheelchair accessibility to the
12 columbarium. Mr. Lewis assumed there may be a possibility to shrink the plaza but there would still be
13 some impervious surface. Ms. Balassa suggested gathering inside the church as a group and then
14 entering the columbarium singularly. Mr. Lewis stated there would still need to be a hard surface for
15 those who needed it. He agreed members can assemble inside but they would prefer to keep families
16 together and referred to the difficulty navigating the grassy surface when exposed to the weather. Mr.
17 Allesandrini added there can be an indoor ceremony and they would have to enter the columbarium
18 single file before interment which would still leave some outside.
19

20 Chairman Bradley asked if there were any other comments. No additional comments were made at this
21 time. He then called the matter in for discussion.
22

23 Ms. Balassa stated she did not support the application and referred to the previously granted large
24 variation. She also stated there are also other interior options and suggested leveling the grass. Mr.
25 Greenough stated he would support a more modest paved area and he got an opinion from the Village
26 that there would be no increase in water flow to the Ash Street neighbors. Chairman Bradley stated that
27 option would be contingent upon Village engineer approval. Ms. Hanley stated to the neighbors present,
28 the tricky part is the request is from a church which is zoned residential and has smaller zoning
29 restrictions. She described the comparison of a church to a home in terms of what is allowed as
30 comparing apples to oranges. Ms. Hanley agreed 85% is a large number and they do not want to add to
31 the fact they are significantly over the limit and want to add more. She also stated she respected the
32 neighbors' concern with regard to water as well as the church's need to hold religious ceremonies.
33

34 Ms. Hanley then stated the gravel path is more than a necessity and suggested shrinking the plaza to
35 make the plan more amenable but she would vote against it. Ms. Handler stated she would support a
36 scaled back version and eliminating the gravel path. She agreed the interment service is a key service
37 provided by a church and for everyone to participate in. Ms. Handler stated it would not be
38 unreasonable to expect everyone to be able to participate safely. She also stated while she is sensitive
39 to water issues, that is out of the Board's purview and needs to be addressed by the Village. Ms. Handler
40 then stated the system as designed would not add to the water issue and that it met the requirements
41 and she would be in support with a scaled back plaza.
42

43 Ms. Balassa asked if there is a more direct access to the columbarium other than from the door they are
44 proposing which would not require a variation or the plaza. Mr. Lewis responded no since the other
45 walls are structural. Mr. Allesandrini referred to the congregational feeling for the interment is needed
46 for the procession service similar to a vehicular funeral procession.
47

1 Mr. Greable referred to page 18 and item no. 5 stated they were working with the Village engineer and
2 asked what was agreed to at this point. Mr. Allesandrini stated there are two issues, the first of which
3 represented 1:1 compensation for the ground. He stated the second requirement was raised today
4 and is for them to confirm the retention for how much water would be collected and how they plan to
5 retain it. Mr. Greable then stated they needed more options. Chairman Bradley concluded that would be
6 another vote against the request.

7
8 Chairman Bradley then stated for the skylights and door installation, that would be fine but he would
9 not agree to the 543 square foot variation and he did not see a practical need for the additional overage.
10 He stated the Board can vote on the request as a recommending body for denial or continue the case to
11 another meeting for the applicant to present a more streamlined version and show the standards have
12 been met. Mr. Lewis agreed to continue the case and scale back the request.

13
14 Chairman Bradley asked for a motion to continue Case No. 19-32-SU to the December 9, 2019 meeting.
15 The motion was made by Ms. Hanley and seconded by Ms. Handler. A vote was taken and the motion
16 passed by unanimous voice vote.

17
18 AYES: Balassa, Bradley, Greable, Greenough, Handler, Hanley

19 NAYS: None

20
21 **Comprehensive Plan Workshop Session: The ZBA will continue to discuss ideas for inclusion in a new**
22 **Comprehensive Plan.**

23 Chairman Bradley asked if a motion was necessary to continue the agenda item. No motion was made.
24 The Board agreed to continue the comprehensive plan workshop session to the December meeting or to
25 hold a study session at 6:00pm before the regular December meeting.

26
27 **Other Business**

28 Chairman Bradley asked if there was any other business. No additional business was discussed at this
29 time.

30
31 **Next meeting - December 9, 2019 - Quorum Check**

32 Mr. Schoon asked the Board Members if they would be available for the December 9, 2019 meeting.
33 Chairman Bradley informed the Board he may have a conflict with an application for the December 9th
34 meeting and asked if he could chair portions of the meeting with which he had no conflict. Mr. Schoon
35 confirmed once he left the room, he would not be counted as part of the quorum. He then stated there
36 needed to be five Board Members present. The Board Members discussed their availability.

37
38 **Public Comment**

39 Chairman Bradley noted there is no one in the audience to provide comment.

40
41 **Adjournment:**

42 The meeting adjourned at 10:22 p.m.

43
44 Respectfully submitted,

45
46 Antionette Johnson
47 Recording Secretary



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, SENIOR PLANNER
DATE: JANUARY 7, 2020
SUBJECT: CASE NO. 19-32-SU [AMENDED]: 1255 WILLOW ROAD - WINNETKA
PRESBYTERIAN CHURCH - SPECIAL USE PERMIT

INTRODUCTION

On January 13, 2020, the Zoning Board of Appeals will continue the public hearing on an amended application filed by Winnetka Presbyterian Church (the "Applicant") as the owner of the property at 1255 Willow Road (the "Subject Property"). The Applicant now proposes the construction of a plaza on the Subject Property along Hibbard Road that only requires the following requested relief:

1. Approval of an amendment to an existing **Special Use Permit, granted by Ordinance No. M-1-2000**, for a church located in the R-5 Single-Family Residential Zoning District.

As will be discussed later in this report, the Applicant has eliminated the request to increase the amount of impermeable lot coverage in excess of the amount granted by the variation approved in Ordinance No. M-1-2000. The amount of impermeable lot coverage proposed in the amended plan is 0.25 square feet less than what was approved by Ordinance No. M-1-2000.

The initial hearing on November 11, 2019 was properly noticed on October 24, 2019 in the *Winnetka Current* and a mailed notice was sent to property owners within 250 feet in compliance with the Zoning Ordinance. Subsequent to the November meeting, two additional written comments were received from the public concerning this application. These comments along with the public correspondence previously received and distributed to the ZBA are included in Attachment D.

PROPERTY DESCRIPTION

As a reminder to the Board, the Subject Property, which is approximately 1.93 acres in size, is located at the northeast corner of Willow Road and Hibbard Road and contains an existing church. Figures 1 through 3 on the following pages identify the Subject Property.

The Comprehensive Plan designates the Subject Property as appropriate for "Public/Semi-Public" uses. The property is zoned R-5 Single Family Residential, and it is bordered by R-5 Single Family Residential to the north and east, R-4 Single Family Residential to the south, and R-2 Single Family Residential to the west (represented in Figure 4 later in this report).

In addition to single-family residential uses, the R-5 District allows a limited range of additional uses by Special Use Permit. Allowed Special Uses in the R-5 District include (a) church or temple; (b) public school, elementary and high, or private school having a curriculum equivalent to a public elementary school, public high school or public institution of higher learning; and (c) library.

The Applicant's use of the Subject Property as a church is generally consistent with the Comprehensive Plan land use designation and the R-5 zoning district.

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

Also, as previously reported to the Board, construction of the church began in 1959. The following subsequent building permits were issued in:

1. 1963 to construct an addition;
2. 1965 to construct an addition for Sunday school rooms;
3. 1987 to construct a new entry way to the church; and
4. 2001 to construct an addition to the church and reconfigure the parking lot.

Other permits for interior alterations have also been issued over the years.

There is one previous zoning case on file for the Subject Property:

1. Ordinance M-1-2000 was adopted in February 2000 by the Village Council, granting a Special Use Permit and variations to allow the expansion of the church building. The approved variations were for (a) maximum building size (GFA); (b) intensity of use of lot (roofed lot coverage); (c) intensity of use of lot (impermeable lot coverage); and (d) front yard setback from Willow Road for parking spaces. Ordinance M-1-2000 is included in this report as Attachment C.



Figure 1 – Subject Property (west elevation along Hibbard Road)



Figure 2 – Subject Property (location of proposed plaza along Hibbard Road)



Figure 3 – Aerial Map

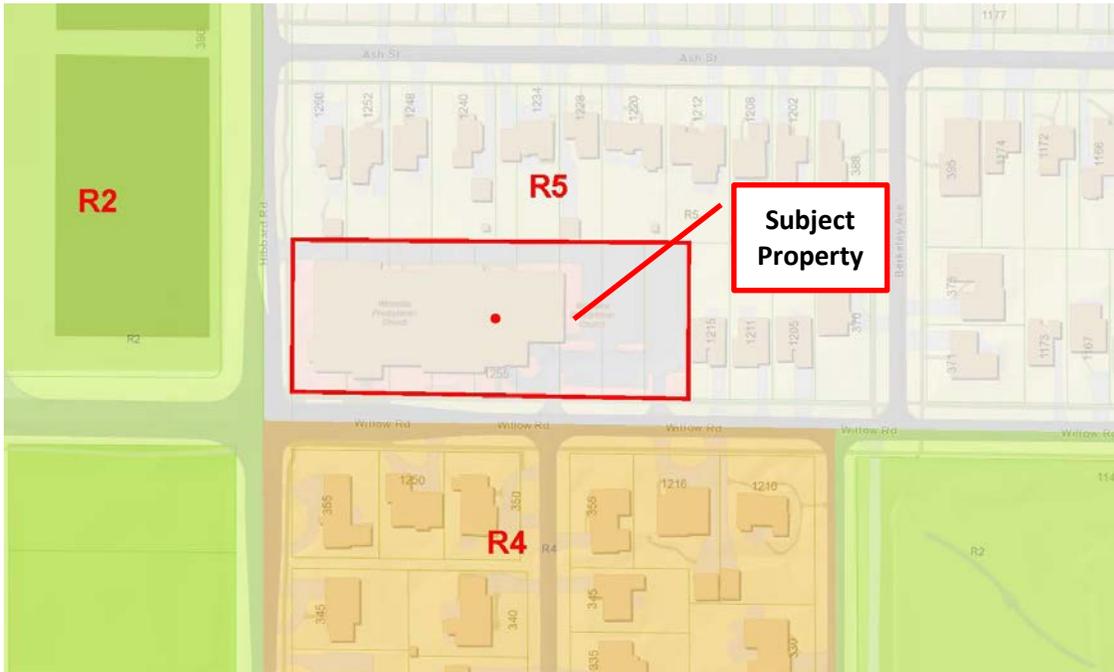


Figure 4 – Zoning Map

PROPOSED AMENDED PLAN

At the request of the Applicant, this case was continued from the November 11, 2019 ZBA meeting in order to provide the Applicant an opportunity to consider reducing the scope of the proposal in response to concerns expressed by the ZBA and neighbors of the Subject Property. A copy of the draft November 11 minutes are included in the January 13 agenda packet for the ZBA’s approval. At the November ZBA meeting, ZBA members had concerns regarding the size of the proposed plaza and questioned whether the proposed crushed stone path was necessary. Additionally, given the existing improvements on the site currently exceed the permitted impermeable lot coverage; the ZBA felt the Applicant should scale back the plan.

The Applicant has submitted revised plans dated December 12, 2019. The revised plans reflect the following changes:

1. The elimination of the previously proposed crushed stone path, measuring 256 square feet, from the plaza to the north driveway;
2. The reduction to the width of the existing sidewalk located on the Subject Property that extends from the public sidewalk along Willow Road to the former front entrance to the church. The existing sidewalk is 16 feet in width and extends 21 feet from the south property line to the outer limits of the excessive roof overhang. The Applicant is proposing to reduce the width of the sidewalk to 7 feet. This would remove 189 square feet of existing impermeable lot coverage from the Subject Property.
3. Additionally, Village Engineering staff has confirmed that the permeable pavement system proposed for the plaza meets the requirements of an “Engineered System” and therefore qualifies for the 25% allowance for calculating the area of impermeable lot coverage contributed by the proposed plaza. As a result of this allowance, the 393 square feet of permeable pavers proposed for the plaza accounts for 294.75 square feet of impermeable lot coverage (ILC). The size of the proposed plaza has not changed, just the area included in the calculation of ILC due to the allowance.

Based on the changes described above, including the 25% impermeable lot coverage (ILC) allowance for the plaza, there is a net decrease of 0.25 square feet of ILC on the Subject Property with the revised plan.

The proposed improvements are intended to provide direct access from inside the church to the existing columbarium located on the exterior southwest corner of the church building, as well as a plaza to accommodate a small group gathering for memorial services. The improvements consist of the following: (1) a new door on the exterior wall facing north; (2) permeable pavers for the plaza; and (3) three exterior skylights to cover three existing openings in the roof overhang. No expansion to the church building itself is proposed.

Figures 6 and 7 on the following pages reflect the change between the previous plan and the revised plan. (The full-size revised plans representing the proposed plaza are provided in Attachment B.)

The general location of the proposed plaza and related improvements is also identified in Figure 2 on page 3 of this report. The Applicant has provided additional photos of the site that were not included in the November agenda materials as well as an explanation of the changes made to the application; this information is also included in the attached application materials (Attachment B).

Given the ZBA often receives questions regarding the stormwater regulations applicable to a specific request being considered by the ZBA, it is worth noting that the Subject Property is located within the 100-year flood plain. Therefore, the proposed improvements must comply with the Village of Winnetka Flood Hazard Protection Ordinance as well as the Village stormwater regulations. The revised plans have been reviewed and approved by the Village Engineering staff. Since there is no increase in impermeable lot coverage, storm water detention is no longer required for the proposed plan. That being said, based on the comments made by the ZBA at the November meeting it is worth noting that the Subject Property currently has storm drains at the west end of the north driveway and throughout the paved areas and parking lot. The entire north and east property lines are surrounded by a retaining wall that prohibits drainage from the church site from discharging onto the adjacent properties to the north and east. Figure 5 below represents the Subject Property's location in the 100-year flood plain. The grey represents the 100-flood area and the purple represents the 500-year flood area.

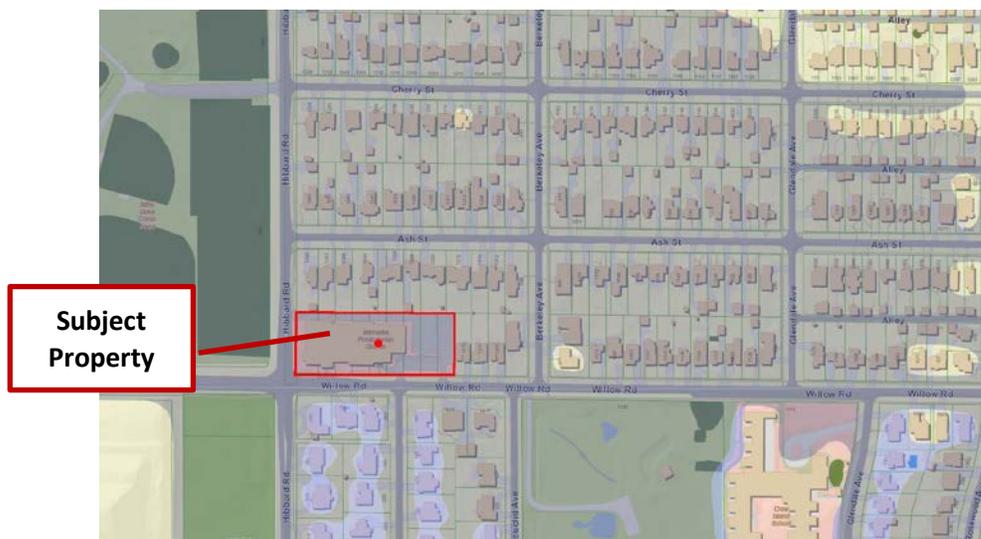


Figure 5 – GIS Flood Plain Map

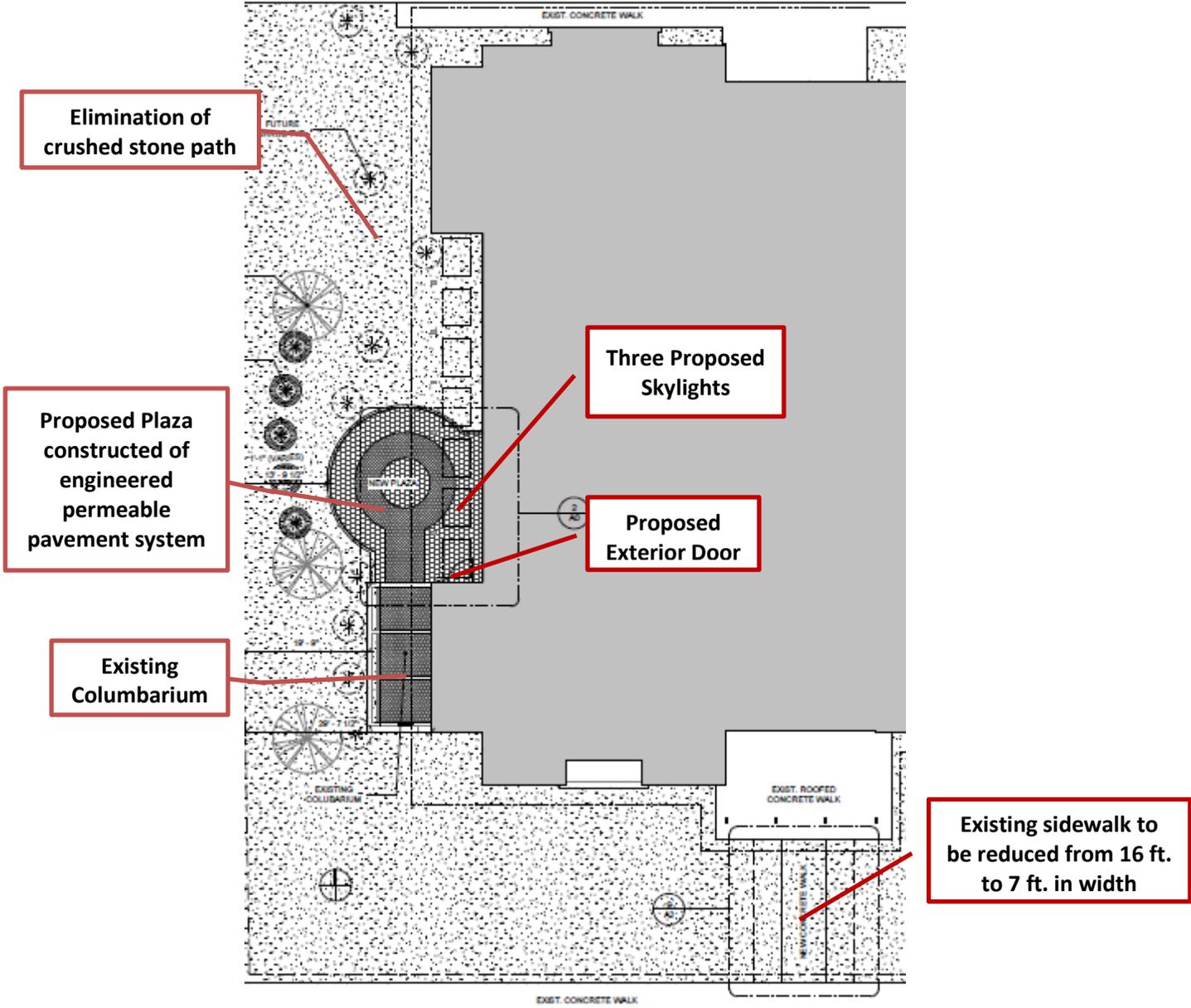


Figure 6 – Revised Site Plan

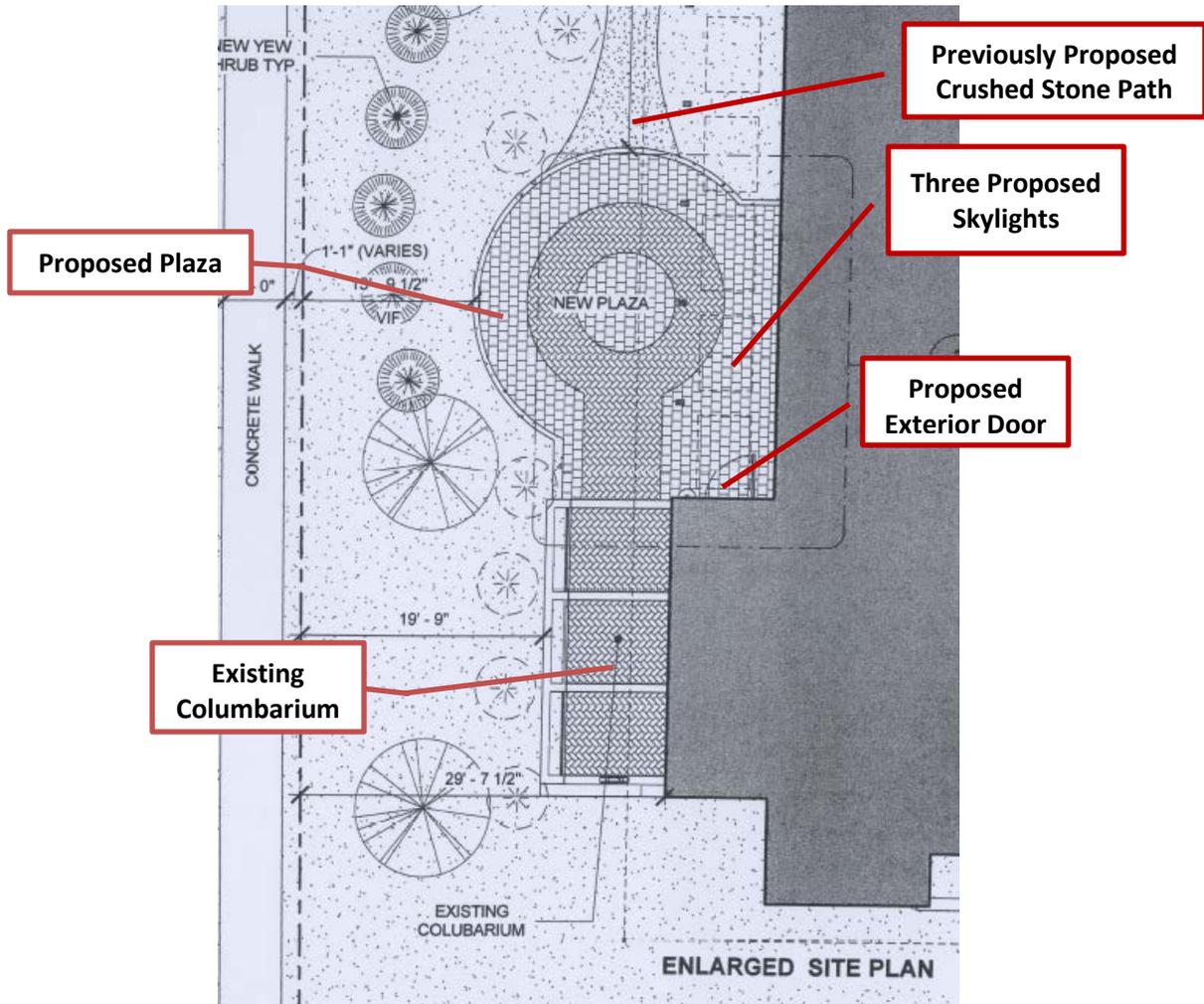


Figure 7 – Excerpt of Previous Site Plan

ZONING RELIEF

The attached revised zoning matrix highlights the existing lot and the proposed improvements' compliance with the R-5 zoning district (Attachment A). **As the revised plan represents a reduction in the impermeable lot coverage (ILC) on the Subject Property, the variation previously requested to exceed the maximum permitted ILC is no longer applicable.** The existing improvements on the site consist of 76,566.92 square feet of ILC, exceeding the maximum permitted by approximately 34,568 square feet (82.31%). The net decrease in ILC with the proposed improvements is 0.25 square feet, which brings the ILC to 76,566.67 square feet, whereas a maximum of 41,998.5 square feet is permitted.

The following compares the Zoning Code requirement, the existing condition, as well as the difference between what the Applicant previously proposed and what is currently before the ZBA for a recommendation to the Village Council.

	CODE REQUIREMENT	EXISTING CONDITION	PREVIOUS PROPOSAL	CURRENT PROPOSAL
MAXIMUM IMPERMEABLE LOT COVERAGE	41,998.5 square feet	76,566.92 square feet	77,109.92 square feet	76,566.67 square feet

CONSIDERATION BY OTHER ADVISORY BOARDS/COMMISSIONS

The Plan Commission considered the Special Use Permit on November 20, 2019. At the meeting the Applicant presented a preliminary revised plan with the intent of addressing the concerns raised by the ZBA at its meeting on November 11. After hearing from the Applicant, and no members of the public, the Plan Commission recommended, by a vote of 5-0, approval of the requested amendment to the existing special use granted by Ordinance M-1-2000 to allow the construction of a plaza along Hibbard Road on the Subject Property subject to the alternate plan shared by the Applicant at the November 20, 2019 meeting, which plan would reduce the amount of proposed additional impermeable lot coverage by:

- 1) Eliminating the proposed crush stone path;
- 2) Installing permeable pavers for the proposed plaza, subject to approval by the Village Engineer; and
- 3) Replacing the entrance sidewalk located on the south side of the church facing Willow Road from its current size of 16 feet by 22 feet to the proposed size of 8 feet by 22 feet.

The revised plans dated December 12, 2019 currently being considered by the ZBA address the conditions recommended by the Plan Commission.

The Design Review Board (DRB) considered a Certificate of Appropriateness for the proposed improvements on November 21, 2019. After hearing from the Applicant, and no members of the public, the DRB approved the plan as proposed by a vote of 5-0.

The Special Use Permit is subject to final approval by the Village Council.

REQUESTED ZONING CONSIDERATION

The Applicant is requesting approval of an amendment to an existing Special Use Permit to allow the construction of a plaza along Hibbard Road on the Subject Property. The ZBA is charged with evaluating Special Uses for consistency with the six standards for granting special use permits.

FINDINGS

In the attached application materials submitted by the Applicant, the Applicant has provided a statement of justification regarding how the requested Special Use Permit meets the standards for granting the requested Special Use Permit. Does the ZBA find that the requested amendment to an existing Special Use Permit meets the standards for granting such special use; and if so, is the ZBA prepared to make a recommendation to the Village Council regarding the requested relief? If so, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the requested amendment to the existing special use for a church on the Subject Property granted by Ordinance M-1-2000 to allow the construction of a new plaza along Hibbard Road for Winnetka Presbyterian Church as represented in the revised plans dated December 12 2019, based on evidence in the record, or a public document, and upon the following findings of fact:

1. The proposed plaza and related improvements are consistent with the Standards for the granting of Special Use Permits, as follows:

- a. That the establishment, maintenance and operation of the special use will not be detrimental to or endanger the public health, safety, comfort, morals or general welfare;
- b. That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor substantially diminish or impair property values in the immediate vicinity;
- c. That the establishment of the special use will not impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
- d. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
- e. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the special use exist or are to be provided; and
- f. That the special use in all other respects conforms to the applicable regulations of this and other Village ordinances and codes.

[The amendment to the special use for the church should only be approved subject to the following conditions...]

ATTACHMENTS

Attachment A: Zoning Matrix

Attachment B: Application Materials

Attachment C: Ordinance M-1-2000, adopted February 15, 2000

Attachment D: Public Correspondence

ATTACHMENT A

ZONING MATRIX

(Revised 01.07.2020)

ADDRESS: 1255 Willow Road - Winnetka Presbyterian Church

CASE NO: 19-32-V

ZONING: R-5

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	8,900 SF	83,997 SF	N/A	N/A	OK
Min. Average Lot Width	70 FT	180.87 FT	N/A	N/A	OK
Max. Roofed Lot Coverage	20,999.25 SF (1)	33,725.92 SF	N/A	N/A	EXISTING NONCONFORMING
Max. Gross Floor Area	21,134.31 SF (1)	43,390.86 SF	N/A	N/A	EXISTING NONCONFORMING
Max. Impermeable Lot Coverage	41,998.5 SF (1)	76,566.92 SF	76,566.67 SF	(0.25) FT	EXISTING NONCONFORMING
Min. Front Yard (Hibbard/West)	30 FT	29.05 FT	29.05 FT	0 FT	EXISTING NONCONFORMING
Min. Corner Front Yard (Willow/South)	30 FT	23.26 FT	23.26 FT	0 FT	EXISTING NONCONFORMING
Min. Side Yard (North)	12 FT	26.81 FT	26.81 FT	0 FT	OK
Min. Rear Yard (East)	25 FT	146.51 FT	146.51 FT	0 FT	OK

NOTES:

(1) Based on lot area of 83,997 s.f.

(2) Variation amount is the difference between proposed and requirement.



Narrative of Zoning Application Case No. 19- 32- SU 1 of 2

Zoning Variation Application by Winnetka Presbyterian Church
Date of Application October 16, 2019
2nd Application, December 16, 2019

Representing the Applicant : Robert Lewis , Church Elder for Building and Grounds
assisted by Fernando Alessandrini, JNKA Architects

We are Winnetka Presbyterian Church and returning for a revision of our application Under Case No. 19-32-SU. This Case seeks approval of variances of impermeable surface additions within the Special Use Permit under Ordinance No. M-1-2000.

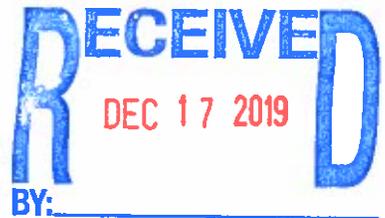
November meetings with the Special Use Committee and Design Review Board both Resulted in affirming decisions.

Zoning Variation We now propose Adheres to The Zoning Board’s Requested Changes in a November 11, 2019 meeting.

Completion of the year 2000 expansion addressed a specification by the M-1-2000 ordinance of an impermeable surface for the lot of 76, 566 square feet. Our original 2019 application requested a variation of adding 543 square feet of impermeable surface which in percentage terms is a change of 0.7 %. **The changes we propose in this revised application result in a modest credit to impermeable surface of minus 0.25 square feet which we will describe in this two page narrative and in accompanying charts and photos.**

The reason for our application to Zoning remains the same. It is to address a defect in practical and safe usage of the columbarium which was added to the exterior at the original building’s Northwest corner. The location is readily viewed in a satellite image included in this submission. The defect is one of original design in which there was no convenient provision for access from the church’s interior direct to or at least close-by the columbarium.

The effect of the current layout is that access for interment services necessitates a walk-about along Willow Rd, followed by a turn on Hibbard Rd and then a slanted walk up a grass berm on spaced blue stone pads. We have seen this unnecessarily challenging for people using walkers or wheelchairs and most certainly challenging when rain threatens a pre-planned interment by family members and friends.



The brief description of our solution is as follows: We will cut through and open a door in a single level brick and stone wall which abuts the Columbarium. Further, we propose to provide a stable surface outside connecting door opening and Columbarium and adjoining area of sufficient size to accommodate a small group gathering for memorial services. This will be accomplished by a design which uses Unilock style pavers in a circular plaza like design.

Drawings and photos are included in this submission and footnotes or captions serve to describe where the door will be positioned and where the pavers will extend.

What Has Changed ?

The Zoning Board’s commission to our church’s development planning team was to “scale back”. Here is a concrete answer to scaling back.

First, we have eliminated the crushed stone path to the North driveway, which eliminates 256 square feet of impermeable surface.

Second, we have reconstructed an existing sidewalk which leads from the Willow Rd Sidewalk north to our original 1960’s building entrance. This currently existing 22 ft. by 16 ft. wide concrete walkway will be reduced to a 7 ft. wide x 21 ft. concrete walkway. The eliminated 189 square feet of concrete surface will be converted to soil and grass. Consequently our overall project reflects a restoration of 189 square feet of permeable surface which we reflect as a credit against new impermeable surface we are adding.

Third, our Plaza pavers design and its underground water collection and release system has been reviewed and approved by the Village engineers for a 25 % credit against the total 393 square feet of permeable/ impermeable surface for its compliance with Cook County Water District regulations. This results in a 98.25 square feet credit.

To summarize: Scale Back

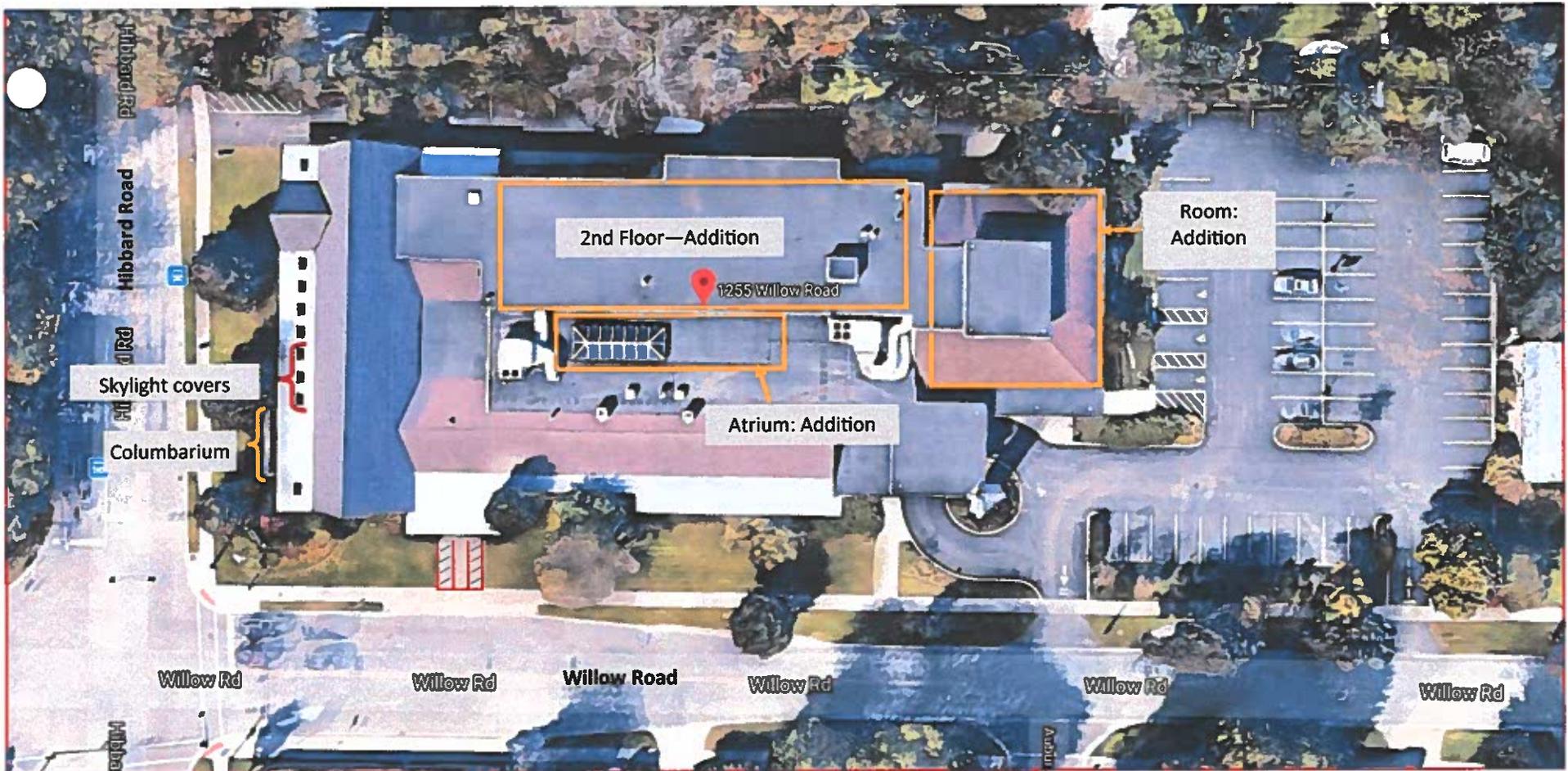
Concrete curb – original	20	sq. ft.
Permeable pavers (original 393 x 75 %)	294.75	sq. ft.
Crushed stone (original 256 sq. ft.)	0	sq. ft.
Remove original blue stone walkway	- 33	sq. ft.
Remove original Columb. Blue stone	- 93	sq. ft.
<u>Sidewalk Conversion to soil and grass</u>	<u>-189</u>	<u>sq. ft.</u>
	Net - 0.25	sq. ft.

Immediately following this page is a page which addresses the eight standards for zoning variations. Following are supporting documents including photographs and relevant site plans

Winnetka Presbyterian Church

1255 Willow Road · Winnetka · Illinois 60093

Aerial View



Key:

— 3 Skylight covers over existing roof openings 2020.



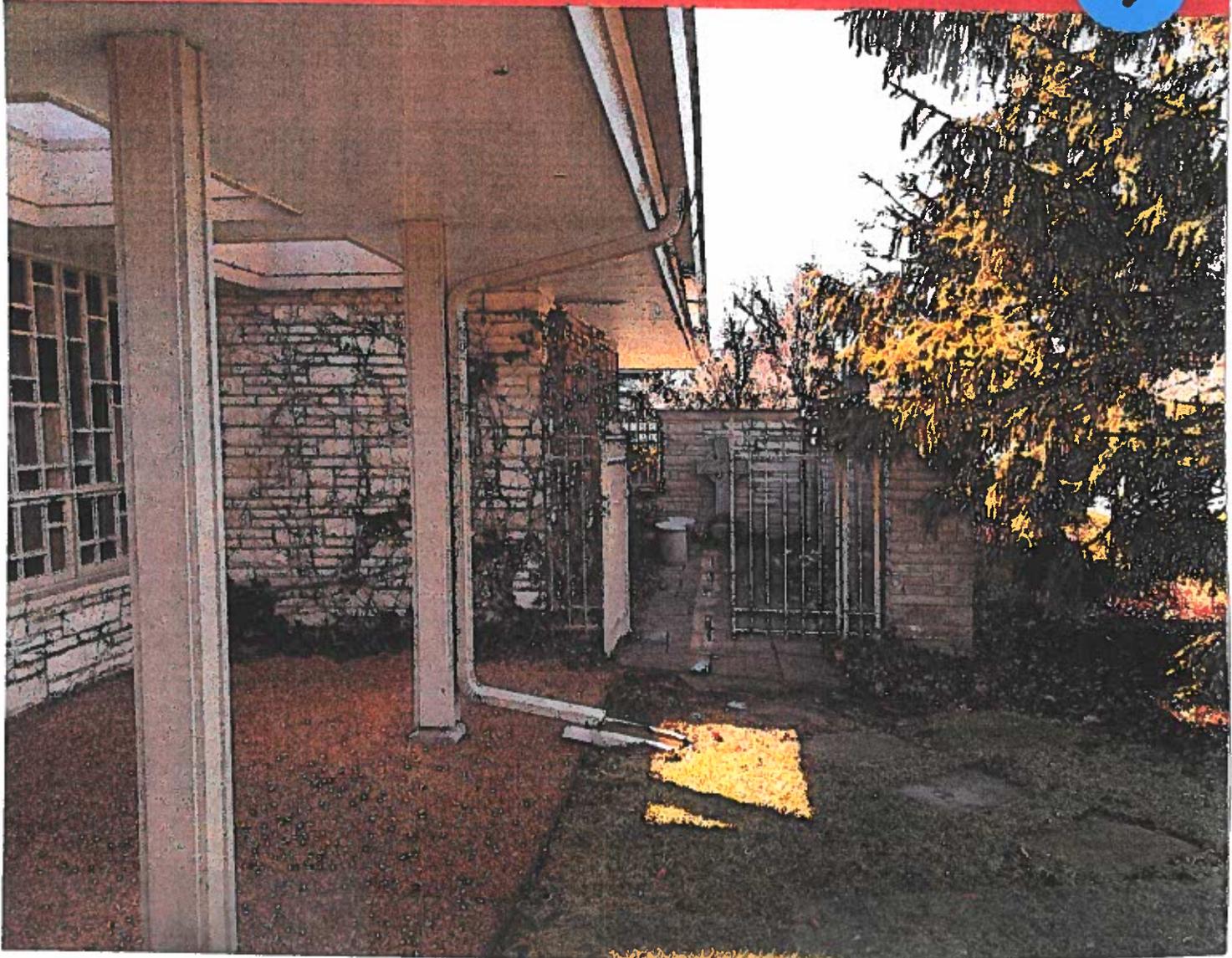
Original sidewalk entry 1960-2000 to be reconstructed 2020.

— Represents 2000 additions.



Existing Columbarium

4



We can Visualize Improved Access in this Picture

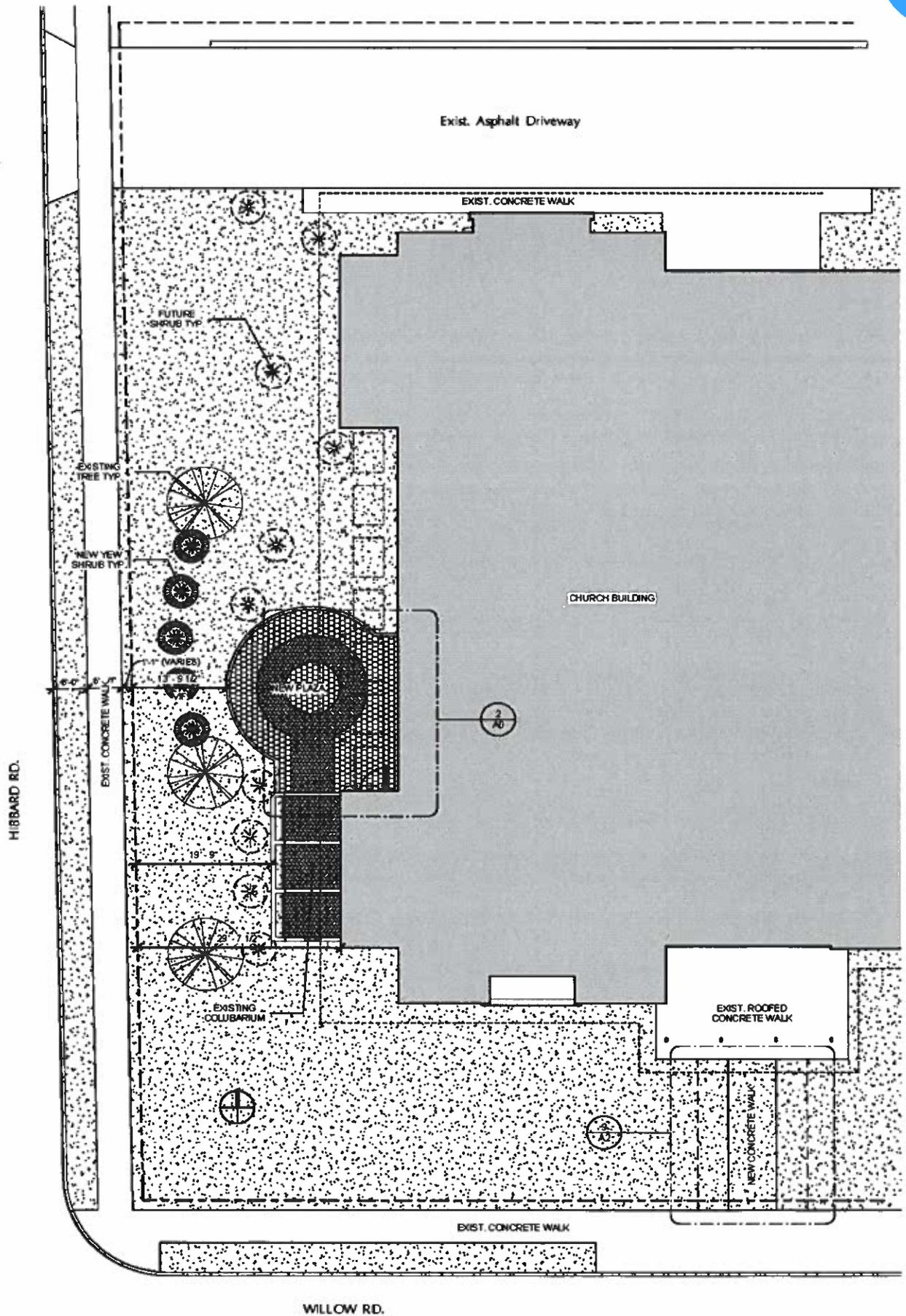
1. A 42 inch door opening can be cut in the North facing stone wall for close-by access
2. Ample ground surface exists to cover the area to the right of the Columbarium entrance and next to the Sanctuary windows with a stone Paver plaza which provides for stable surface where small groups may gather. Matching paver material may replace the existing blue stone inside the Columbarium.
3. Existing roof openings exist which allow right-sized skylight covers to provide weather protection over the door area and part of the plaza



**Winnetka Presbyterian Church Columbarium
Memorial Interment Service Nov. 16, 2019**

25 Family Members and Close friends Present





HIBBARD RD.

Exist. Asphalt Driveway

EXIST. CONCRETE WALK

CHURCH BUILDING

EXISTING TREE TYP

NEW YEW SHRUB TYP

FUTURE SHRUB TYP

13'-5 1/2"

19'-9"

EXISTING COLUBARIUM

EXIST. ROOFED CONCRETE WALK

NEW CONCRETE WALK

EXIST. CONCRETE WALK

WILLOW RD.

Original Entrance South Side of Church facing Willow Rd

**Entry Sidewalk (16 ft x 21 ft) infrequent use today
Remove and re-install new 7 ft x 21 ft walk.
Returns 189 sq. ft. to permeable soil and grass**





To summarize:

Original

Concrete Curb	20	sq. ft.
Impervious lot coverage by pavers	393	sq. ft.
Crushed stone path to North	256	sq. ft.
Credit for original blue stone path	- 33	sq. ft.
Credit for original Columb. Pavers	- 93	sq. ft.
	<hr/>	
	543	sq. ft.

Scale Back

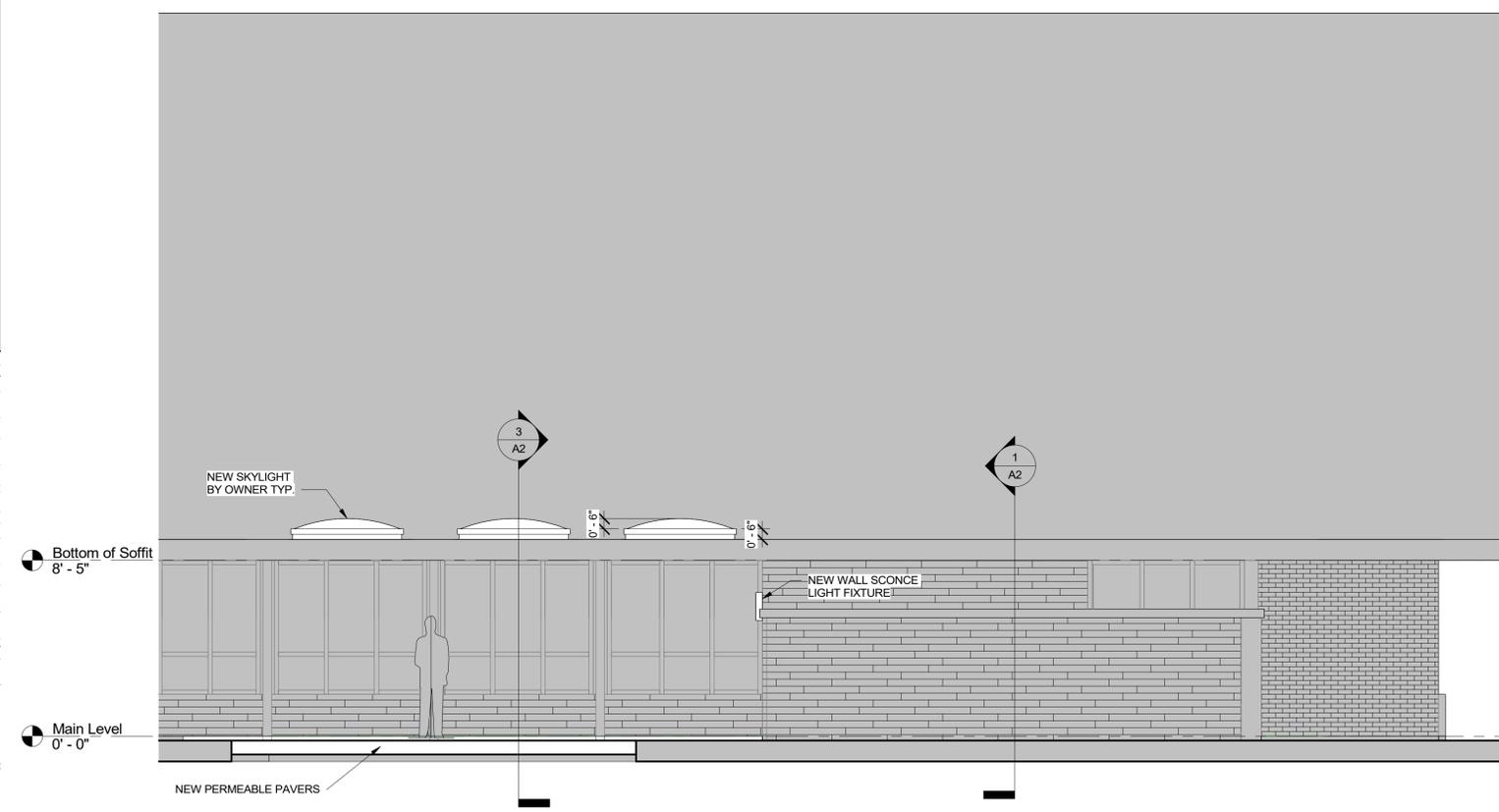
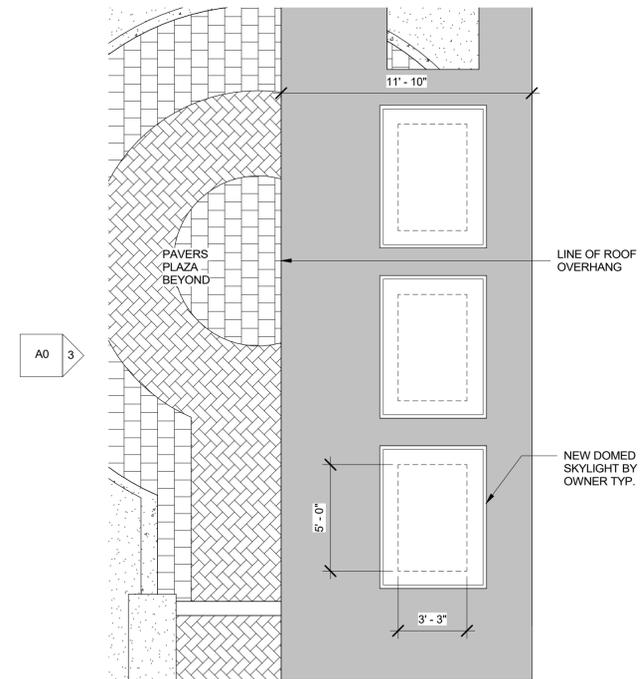
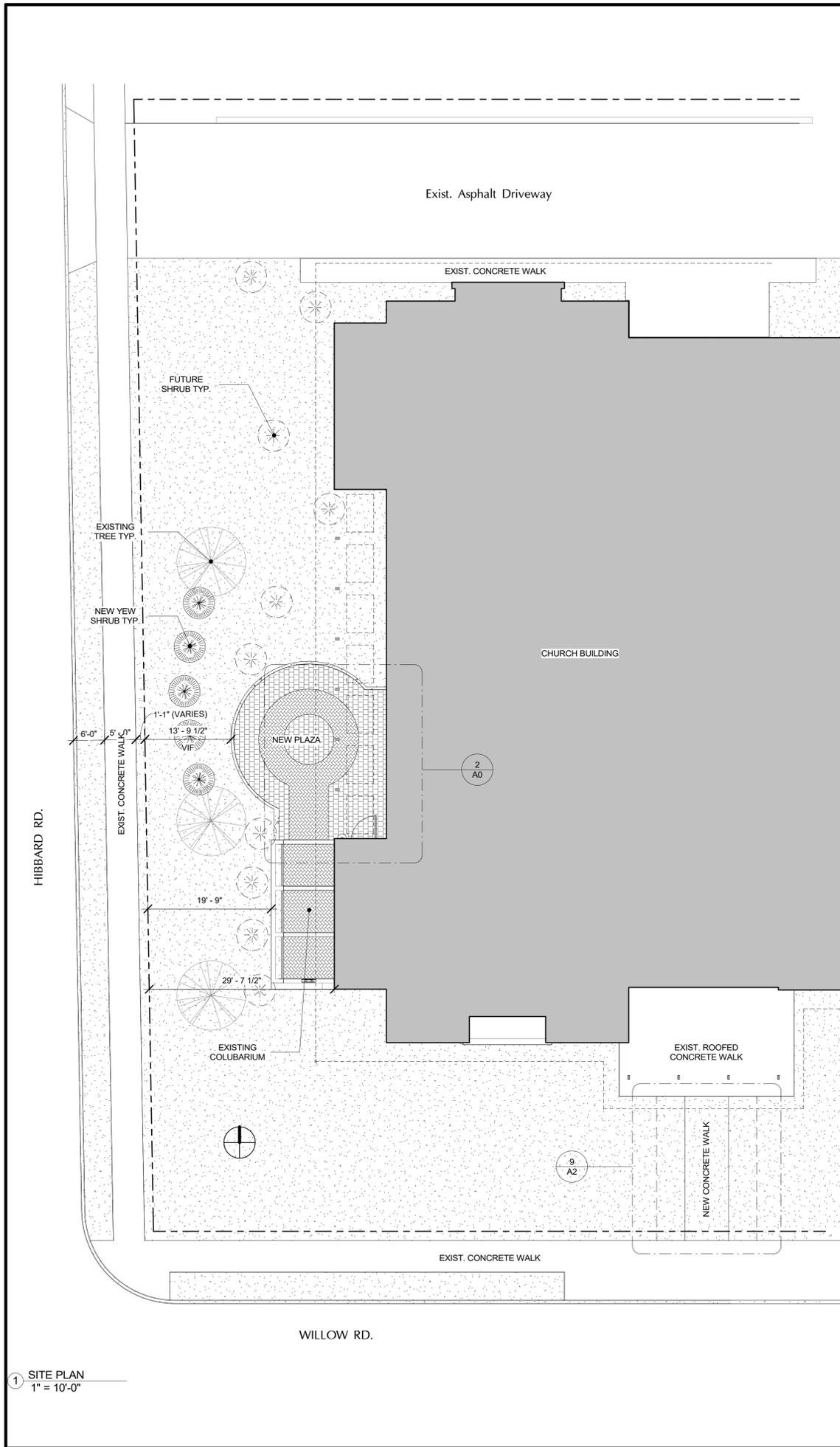
Concrete curb – original	20	sq. ft.
ILC (Pavers) (original 393 x 75 %)	294. 25	sq. ft.
Crushed stone (original 256 sq. ft.)	0	sq. ft.
Remove original blue stone walkway	- 33	sq. ft.
Remove original Columb. Blue stone	- 93	sq. ft.
Sidewalk Conversion to soil and grass	-189	sq. ft.
	<hr/>	
	Net - 0. 25	sq. ft.

RENOVATIONS TO: WINNETKA PRESBYTERIAN CHURCH

1255 Willow Rd., Winnetka, IL 60093

Permit Revision Set 12/12/2019

GENERAL NOTES <ol style="list-style-type: none"> These notes shall apply to all sheets of these Contract Documents. The Trade Contractor shall carefully examine the Contract Documents and the construction site to obtain first hand knowledge of the existing conditions. No extra will be allowed for work that could have been determined by examining the Site and Documents. The Trade Contractor shall be responsible for verifying all dimensions at the site. All existing conditions shall be verified by field measurement prior to construction, fabrication or installation. The Trade Contractor shall notify the Architect of any discrepancies between field observation and Contract Documents. All details and sections shown on the Drawings are intended to be typical and shall be construed to apply to similar situations on the project unless a different detail or section is shown. The Drawings are all inclusive and shall be intended to represent a total and complete job. All Trade Contractors shall examine all of the drawings and provide all Work no matter where shown. The Trade Contractor shall coordinate all of the Work. The Trade Contractor shall coordinate his Work with the Work of other trades. No extra will be allowed due to lack of project coordination. All Trade Contractors shall review all drawings to ensure proper coordination of their work. Architectural Drawings shall be referenced to properly locate equipment and devices. Verify layout and all equipment locations with Owner prior to construction. All work shall conform to all pertinent codes, regulations and ordinances of the municipal, state and other authorities having jurisdiction. All building dimensions indicated are to column center, to face of concrete, to face of masonry, or to face of plaster or gypsum board, unless otherwise noted. 	FINISH NOTES <ol style="list-style-type: none"> In existing rooms called out for a new floor finish, the Contractor is to patch the floor by filling with latex concrete and grinding for a smooth surface to receive new floor finish. Patch all walls, ceilings, floor and other surfaces in the existing buildings as required after removal of installation equipment, piping, wiring, walls, etc. Contractor to thoroughly examine all drawings and existing conditions for patching requirements. Patch existing walls shown to remain as required for new finishes. Patching shall include but not necessarily be limited to (1) plaster patching of walls from previous damage, equipment removals, lighting/plumbing fixture and/or equipment removals, signage removals, existing finish removals, etc. (coordinate extent of patching with electrical and mechanical subcontractors); and (2) where existing partitions removed yield non-planar adjacent surfaces, Contractor shall break back existing ceramic tile, etc. and patch and prime walls for new finishes. Where the finish schedule indicates "Patch Existing," the Contractor is to verify existing floors, walls and ceiling surfaces and patch to match existing. This may apply to floor finishes (VCT, ceramic tile, etc.), wall finishes (plaster, plaster w/ ceramic tile wainscot, ceramic tile, etc.) or ceiling finishes (plaster, metal pan, etc.). Caulk between all countertops, backsplashes, sidesplashes and walls with silicone caulk, color by Architect. Caulk between all plumbing fixtures and walls with white silicone caulk. Caulk between all dissimilar materials (aluminum, plastic laminate, gypsum board, finish wood, etc.) with silicone caulk, color by Architect. Rooms with resilient base shall have the resilient base applied to the base of cabinets, etc. Provide wood blocking as required for partitions to receive wall mounted equipment, i.e., monitor brackets, shelves, cabinets, toilets accessories, movable casework, bumper rails, light fixtures, TV brackets, equipment, etc. At the head of all doors, provide partition construction similar to adjacent partitions. All closets shall be finished on the interior with painted walls and ceiling, base and floor to match adjacent room finish. All shelving and closet shelves to be plastic laminate finished on adjustable brackets. All countertops adjacent to walls shall have backsplashes and sidesplashes. All countertops shall overhang base cabinets by 1" on exposed open ends. All plastic laminate casework shall have 3/4" plastic laminated scribes at gypsum board partitions and soffits. Tolerances for built-in items, including casework and appliances, must be field verified by the subcontractor to ensure adequate clearances and proper fit. 	PROJECT INFORMATION - BASE BUILDING BUILDING CODES HAVING JURISDICTION <ol style="list-style-type: none"> 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL EXISTING BUILDING CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2014 NATIONAL ELECTRICAL CODE 2014 ILLINOIS PLUMBING CODE 2018 ILLINOIS ACCESSIBILITY CODE 2015 NFPA LIFE SAFETY CODE 101 <p>(ALL CODES AS ADOPTED & AMENDED BY THE VILLAGE OF WINNETKA)</p> PROJECT AREA IMPERVIOUS AREA PROJECT OUTDOOR AREA: 1,099 SFT: EXISTING IMPERVIOUS AREAS: 560 SFT AREA COVERED BY OVERHANG: 390 SFT COLUMBARIUM WALLS: 55 SFT STONE PAVERS PATH (2/3): 22 SFT COLUMBARIUM PAVERS: 93 SFT EXISTING PERVIOUS AREAS: 539 SFT STONE PAVERS PATH (1/3): 11 SFT LANDSCAPE (DIRT OR GRASS): 528 SFT NEW IMPERVIOUS AREAS: 465 SFT AREA COVERED BY OVERHANG: 390 SFT COLUMBARIUM WALLS: 55 SFT CONCRETE CURB: 20 SFT NEW PERVIOUS AREAS: 634 SFT PERMEABLE PAVERS: 393 SFT LANDSCAPE (DIRT OR GRASS): 241 SFT	KEY PLAN 	DRAWING INDEX GENERAL G1 Cover Sheet ARCHITECTURAL A0 Site Plan A1 Floor Plans A2 Elevations and Details STRUCTURAL S1 Lintel Detail and Schedule ELECTRICAL E1 Lighting Plan	<div style="text-align: center;"> </div> <hr/> <div style="text-align: center;"> GENERAL CONTRACTOR </div> <hr/> <div style="text-align: center;"> STRUCTURAL ENGINEERING </div> <div style="text-align: center;"> CE ANDERSON & ASSOCIATES 175 North Franklin St. Suite 410 Chicago, IL 60606 PHONE: 312-750-1701 </div> <hr/> <div style="text-align: center;"> CIVIL ENGINEERING </div> <div style="text-align: center;"> ERIKSSON ENGINEERING ASSOC., LTD. 135 South Jefferson St. Suite 135 Chicago, IL 60661 PHONE: 312-463-0551 </div> <hr/> <div style="text-align: center;"> LIGHTING CONSULTANT </div> <div style="text-align: center;"> AKLD LIGHTING DESIGN 517 4th St. Wilmette, IL 60091 PHONE: 847-475-2010 </div>																																																																																																																																																																																																																																																																																																																		
ABBREVIATIONS <table style="width: 100%; font-size: small;"> <tr><td>ACT</td><td>ACOUSTICAL TILE</td><td>GA</td><td>GAUGE</td><td>RCP</td><td>REFLECTED CEILING</td></tr> <tr><td>AFT</td><td>ABOVE FIN FLOOR</td><td>GALV</td><td>GALVANIZED</td><td>PLAN</td><td>PLAN</td></tr> <tr><td>ALUM</td><td>ALUMINUM</td><td>GC</td><td>GENERAL CONTRACTOR</td><td>RD</td><td>ROOF DRAIN</td></tr> <tr><td>ALT</td><td>ALTERNATE</td><td>GL</td><td>GLASS</td><td>REINF</td><td>REINFORCING</td></tr> <tr><td>AOR</td><td>AREA OF REFUGE</td><td>GWB</td><td>GYP SUM</td><td>REOD</td><td>REQUIRED</td></tr> <tr><td>BL</td><td>BLOCK</td><td>GYPBD</td><td>GYP SUM</td><td>RO</td><td>ROUGH OPENING</td></tr> <tr><td>BLDG</td><td>BUILDING</td><td>HDW</td><td>HARDWARE</td><td>SC</td><td>SOLID CORE</td></tr> <tr><td>BLKG</td><td>BLOCKING</td><td>HCPD</td><td>HANDICAPPED</td><td>SCHED</td><td>SCHEDULE</td></tr> <tr><td>BRG</td><td>BEARING</td><td>HLD</td><td>HOLD</td><td>SIM</td><td>SIMILAR</td></tr> <tr><td>BPL</td><td>BEARING PLATE</td><td>HM</td><td>HOLLO WMETAL</td><td>SL</td><td>SLIDING DOOR</td></tr> <tr><td>CB</td><td>CABINET</td><td>HP</td><td>HIGHPOINT</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>CC</td><td>CONTRACTOR SUPPLIED</td><td>HR</td><td>HOUR</td><td>STL</td><td>STEEL</td></tr> <tr><td>CC</td><td>CONTRACTOR INSTALLED</td><td>HROWD</td><td>HARDWOOD</td><td>SV</td><td>STAIN VARNISH</td></tr> <tr><td>CJ</td><td>CONTROL JOINT</td><td>HT</td><td>HEIGHT</td><td>TB</td><td>TOP BOTTOM</td></tr> <tr><td>CLG</td><td>CEILING</td><td>ID</td><td>INSIDE DIMENSION</td><td>TG</td><td>TONGUE & GROOVE</td></tr> <tr><td>CMU</td><td>CONC MAS UNIT</td><td>INFO</td><td>INFORMATION</td><td>TLT</td><td>TOILET</td></tr> <tr><td>CPT</td><td>CARPET</td><td>INSUL</td><td>INSULATION</td><td>TO</td><td>TOP OF</td></tr> <tr><td>CO</td><td>CONTRACTOR SUPPLIED</td><td>INT</td><td>INTERIOR</td><td>TOS</td><td>TOP OF STEEL</td></tr> <tr><td>CO</td><td>OWNER INSTALLED</td><td>JT</td><td>JOINT</td><td>TOW</td><td>TOP OF WALL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>MANU</td><td>MANUFACTURED</td><td>TS</td><td>TUBE STEEL</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>MAS</td><td>MASONRY</td><td>TYP</td><td>TYPICAL</td></tr> <tr><td>CONST</td><td>CONSTRUCTION</td><td>MAT</td><td>MATERIAL</td><td>UNO</td><td>UNLESS NOTED</td></tr> <tr><td>CONT</td><td>CONTINUOUS</td><td>MAX</td><td>MAXIMUM</td><td>OTHERWISE</td><td>OTHERWISE</td></tr> <tr><td>CT</td><td>CERAMIC TILE</td><td>MC</td><td>MINISTRY CENTER</td><td>VB</td><td>VINYL BASE</td></tr> <tr><td>DET</td><td>DETAIL</td><td>MECH</td><td>MECHANICAL</td><td>VCT</td><td>VINYL COMPOSITE</td></tr> <tr><td>DM</td><td>DIMENSION</td><td>MET</td><td>METAL</td><td>TILE</td><td>TILE</td></tr> <tr><td>DR</td><td>DOOR</td><td>MFR</td><td>MANUFACTURER</td><td>VIF</td><td>VERIFY IN FIELD</td></tr> <tr><td>DS</td><td>DOWNSPOUT</td><td>MTL</td><td>METAL</td><td>W</td><td>WITH</td></tr> 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CHARLES, IL, and to the best of my knowledge comply with the Building Ordinance, Zoning Ordinance and other applicable codes and ordinances of WINNETKA, IL."</p> <p>"I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (410 ILCS 25) and the Illinois Accessibility Code (71 Ill. Adm. Code 400)."</p> <p style="text-align: right; font-size: x-small;">[DAVID CHRISTOPHER KUHLMAN] ILLINOIS LICENSE NO. 001-016893, EXPIRES 11/30/2020 ILLINOIS LICENSED DESIGN FIRM NO. 184-00370</p>
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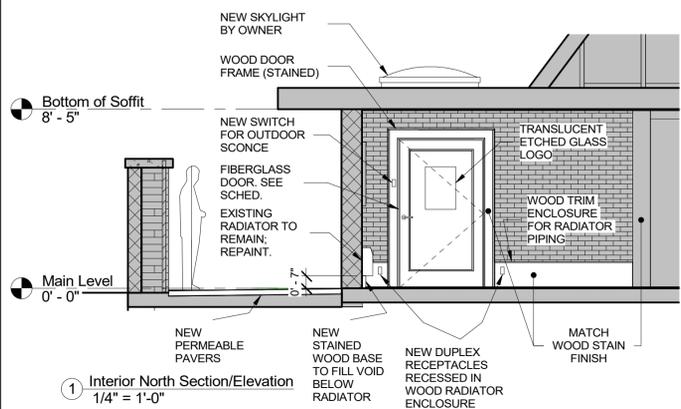


RENOVATIONS TO:
WINNETKA PRESBYTERIAN CHURCH
 1255 Willow Rd., Winnetka, IL 60093

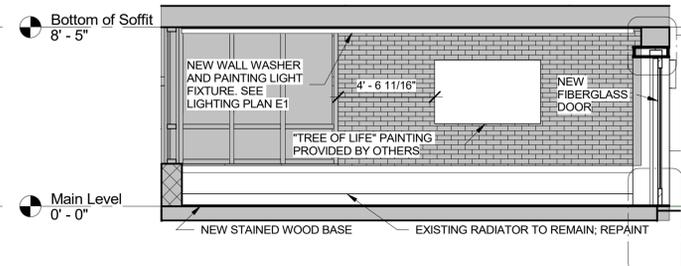


Permit Revision Set	12/12/2019
Zoning Review Set	10/21/2019
Permit & Bid Set	09/09/2019

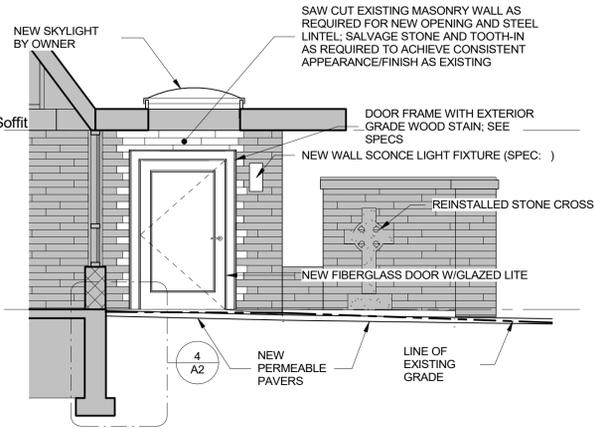
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Author	12/12/2019
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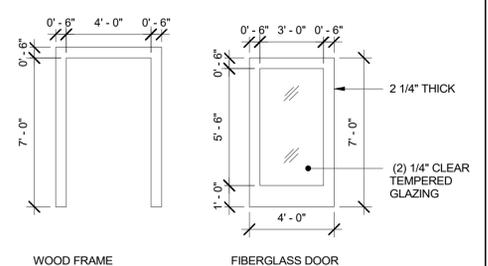
1 Interior North Section/Elevation
1/4" = 1'-0"



2 Interior West Elevation
1/4" = 1'-0"

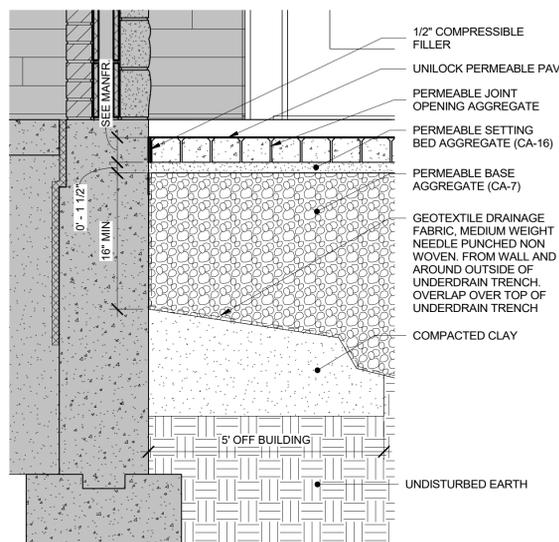


3 Exterior North Section/Elevation
1/4" = 1'-0"

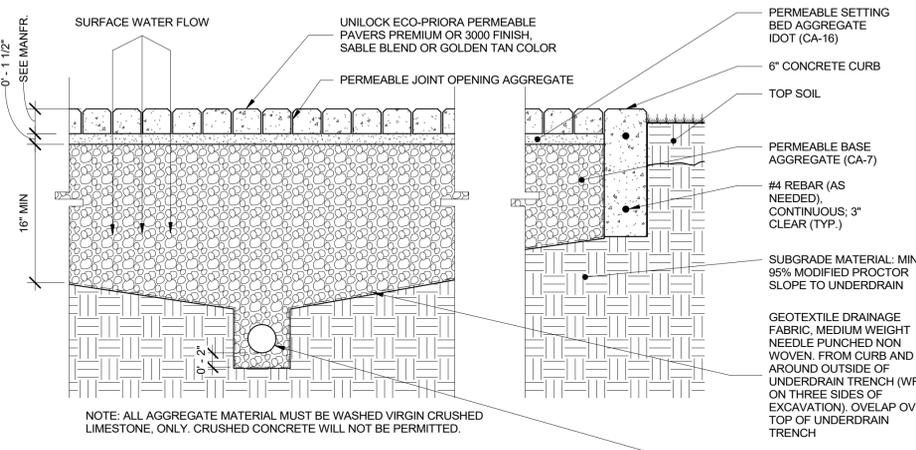


NOTES:
- FIBERGLASS DOOR SHOULD BE SOLID IN CORE
- WEATHER STRIPPING REQUIRED
- ALL NEW HARDWARE SHALL MEET 2003 IBC REQUIREMENTS
- THERMALLY BROKEN FRAME REQUIRED
- SEE SPECIFICATIONS FOR HARDWARE

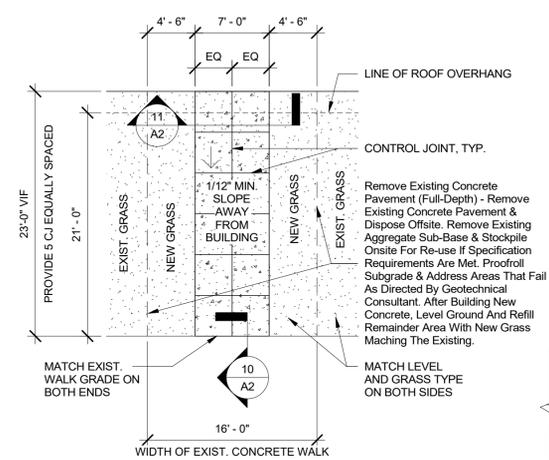
Door and Frame Elevation
1/4" = 1'-0"



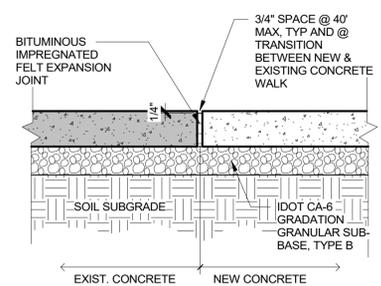
4 Pavers at Existing Wall/Foundation Detail
1" = 1'-0"



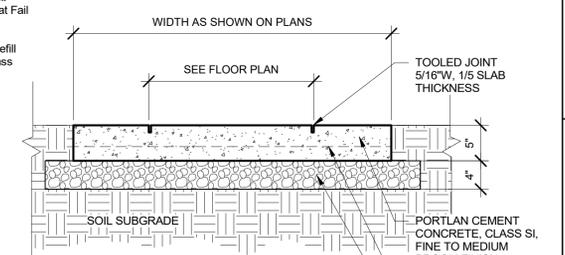
5 Permeable Paver and Underdrain Detail
1" = 1'-0"



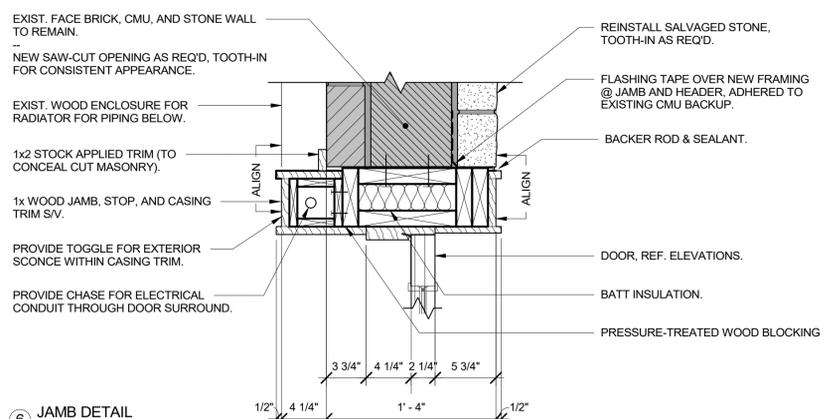
9 New Church Entry Walk Plan
1/8" = 1'-0"



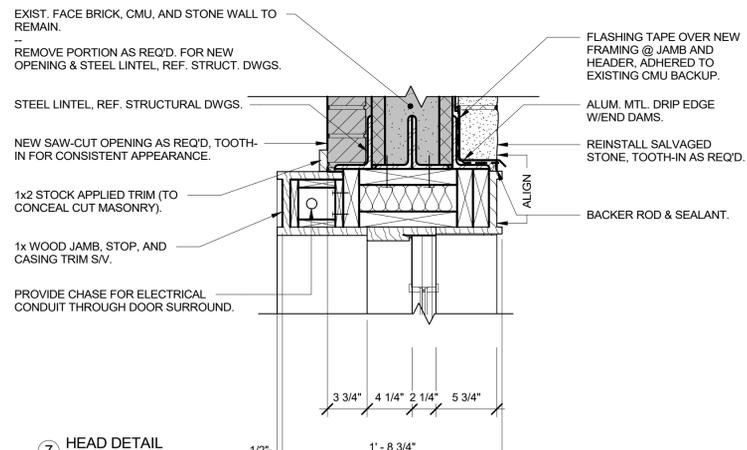
10 NEW CONCRETE JOINT DETAIL
1" = 1'-0"



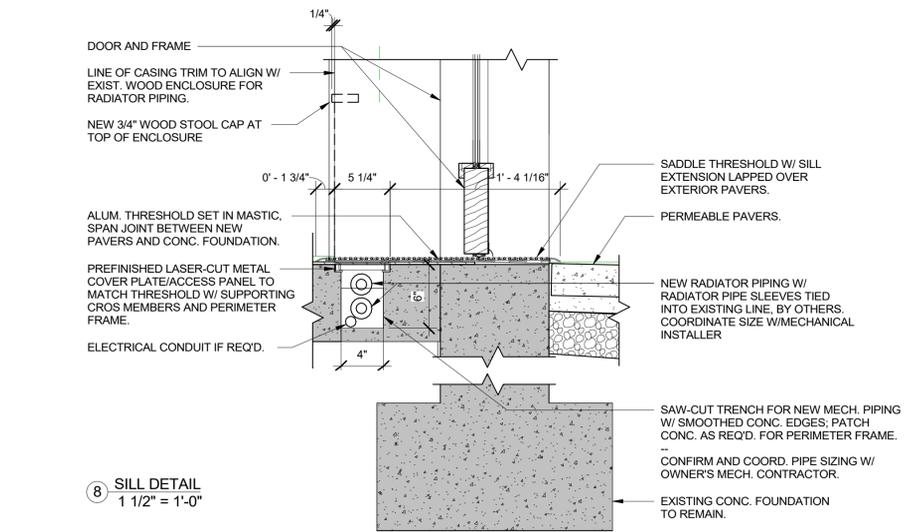
11 CONCRETE WALK & CONTROL JOINT DETAIL
1" = 1'-0"



6 JAMB DETAIL
1 1/2" = 1'-0"



7 HEAD DETAIL
1 1/2" = 1'-0"



8 SILL DETAIL
1 1/2" = 1'-0"

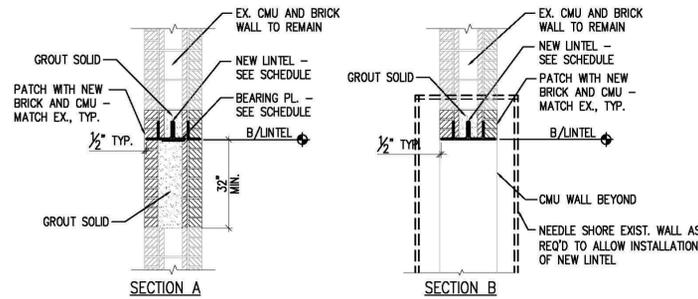
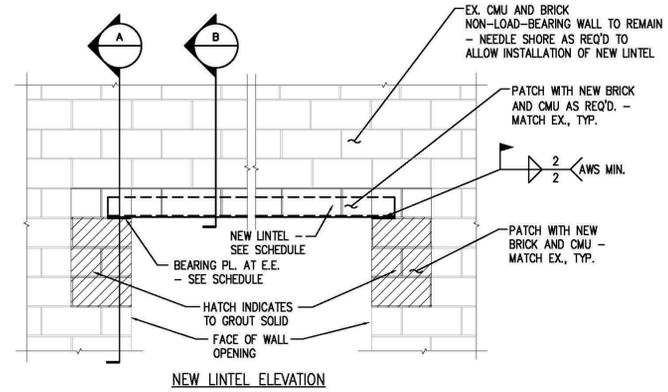
RENOVATIONS TO:

WINNETKA PRESBYTERIAN CHURCH
1255 Willow Rd., Winnetka, IL 60093



Permit Revision Set	12/12/2019
Zoning Review Set	10/21/2019
Permit & Bid Set	09/09/2019

Elevations and Details	
DRAWN:	PLOT DATE:
FA	12/12/2019
CHECKED:	
DK/TD	
JOB NUMBER:	A2
1809	



2 LINTEL DETAILS AT EXIST.
S1.0 SCALE: 1/2" = 1'-0"

NOTE:
G.C. IS TO ADEQUATELY SHORE EX. BRICK AND CMU WITH NEEDLE SHORING AS REQ'D.

LINTEL SCHEDULE					
MARK	MEMBER SIZE	BEARING PL.	WALL TYPE	OPENING SIZE	REMARKS
L-1	(4) 15x3 1/2 x 3/8 LLV	PL. 6"x6"x3/8"	EX. 8" CMU + BRICK WALL	7'-0"	SEE BELOW

NOTES:

- SEE ARCHITECTURAL DRAWINGS FOR WALL OPENING LOCATIONS, LINTEL ELEVATIONS, AND ADDITIONAL LINTEL INFORMATION.
- ALL OPENINGS IN MASONRY WALLS, NEW & EXISTING, WHERE REQUIRED BY ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION TRADES SHALL BE PROVIDED WITH A LINTEL PER THE REQUIREMENTS OF THE LINTEL SCHEDULE PER EACH WALL TYPE. GENERAL CONTRACTOR TO COORDINATE WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION FOR OPENING LOCATIONS, SIZES AND WALL THICKNESSES.
- INSTALL ANGLE LINTELS LONG LEGS VERTICAL, U.N.O.
- PROVIDE 6" MINIMUM BEARING AT EACH END OF ANGLE LINTELS, U.N.O.
- SEE DETAIL 2/S-1 FOR LINTEL DETAILS.

1 LINTEL SCHEDULE
S1.0 SCALE: N.T.S.

RENOVATIONS TO:

WINNETKA PRESBYTERIAN CHURCH
1255 Willow Rd., Winnetka, IL 60093



Winnetka Presbyterian Church
1255 Willow Road
Winnetka, Illinois 60093



Jaeger Nickola Kuhlman & Associates, Ltd.
350 South Northwest Highway
Park Ridge, Illinois 60068



Permit Revision Set	12/12/2019
Zoning Review Set	10/21/2019
Permit & Bid Set	09/09/2019

NO.	DESCRIPTION	DATE

Lintel Detail and Schedule

DRAWN:	CC	PLOT DATE:	12/12/2019
CHECKED:	DK/TD/FA		
JOB NUMBER:	1809		
			S1

RENOVATIONS TO:
WINNETKA PRESBYTERIAN CHURCH
 1255 Willow Rd., Winnetka, IL 60093



Winnetka Presbyterian Church
 1255 Willow Road
 Winnetka, Illinois 60093



Jaeger Nickola Kuhlman
 & Associates, Ltd.
 350 South Northwest Highway
 Park Ridge, Illinois 60068



Permit Revision Set	12/12/2019
Zoning Review Set	10/21/2019
Permit & Bid Set	09/09/2019

NO.	DESCRIPTION	DATE
Lighting Plan		
DRAWN:	MPFA	12/12/2019
CHECKED:	DK/TD	
JOB NUMBER:	1809	E1

New electrical conduit and stub for fountain (owner to provide fountain)

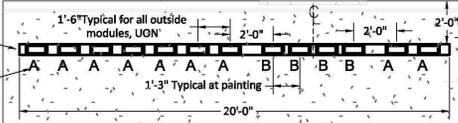
Type K1: Linear wallwash module in surface mounted extrusion. Verify exact location of luminaire and dimmers prior to installation. Lumenwerx #CLUCOMS(SURFACE)-20FT-LED-90-27-UNV / WRO-MF04-LED / CLU10-13-1200LM / BLA-7FT / D1-2-SURFACE-W

Provide two dimmers for separate control of A and B channels

Type K2 Typical: Surface mounted at existing j-box. Provide new dimmer. AFX #RVEF2032LAJUDSNLW(MOD 2700K), Install with 2700K color temperature selected.

Existing dimmer locations. Verify existing branch circuit capacity at Church Proper panel prior to connecting new lighting. Connect Complete to existing circuiting as required for a fully functional system.

New Duplex Electrical Receptacle recessed on wood enclosure and interior switch for exterior wall sconce. Hide conduit inside enclosure and around wood door frame. Switch recessed inside wood frame.



SYMBOLS KEY:

- | | | |
|--|--|---|
| <ul style="list-style-type: none"> □ ○ RECESSED DOWNLIGHT FIXTURE-LINE OR LOW VOLTAGE. □ ○ RECESSED ADJUSTABLE FIXTURE-LINE OR LOW VOLTAGE ○ ○ SURFACE MOUNTED MONOPOINT. REMOTE TRANSFORMER. ○ ○ LOW VOLTAGE MINI RECESSED DOWNLIGHT ○ ○ RECESSED WALL WASH FIXTURE ○ ○ SURFACE MOUNTED PENDANT OR CHANDELIER ○ ○ SURFACE MOUNTED WALL SCONCE ○ ○ PICTURE LIGHT ○ ○ FREE-STANDING LIGHT FIXTURE ○ ○ LINEAR LOW VOLTAGE FIXTURE ○ ○ VERTICALLY MOUNTED LINEAR LOW VOLTAGE FIXTURE ○ ○ SURFACE MOUNTED STEP LIGHT ○ ○ RECESSED WALL MOUNTED FIXTURE ○ ○ INGROUND MOUNTED UPLIGHTS | <ul style="list-style-type: none"> ○ ○ DUPLEX RECEPTACLE ○ ○ FAN / MOTOR ○ ○ MOTORIZED WINDOW TREATMENT- CONFIRM WIRING REQUIREMENTS WITH WINDOW TREATMENT VENDOR ○ ○ TRANSFORMER - 120V/12V OR 120V/24V ○ ○ CLOCK RECEPTACLE ○ ○ DUPLEX RECEPTACLE- WALL (WP) WEATHER PROOF ○ ○ SWITCHED WALL DUPLEX RECEPTACLE - CONFIRM EXACT LOCATION ○ ○ DIMMED WALL DUPLEX RECEPTACLE CONFIRM EXACT LOCATION ○ ○ SWITCHED FLOOR MOUNTED RECEPTACLE ON LTG CONTROL SYSTEM- CONFIRM LOCATION WITH THE OWNER. ○ ○ DIMMED FLOOR MOUNTED RECEPTACLE ON LTG CONTROL SYSTEM- CONFIRM LOCATION WITH THE OWNER. | <ul style="list-style-type: none"> ○ ○ SINGLE POLE SWITCH- (3) 3-WAY (4) 4-WAY (J) JAMB (F) FAN SPEED CONTROL (B) FANLIGHT CONTROL ○ ○ WALL BOX DIMMER- (3) 3-WAY (ELV) ELECTRONIC LOW VOLTAGE (MLV) MAGNETIC LOW VOLTAGE ○ ○ MOTION SENSOR SWITCH ○ ○ SMART SWITCH ON LIGHTING SYSTEM ○ ○ SMART DIMMER ON LIGHTING SYSTEM ○ ○ LIGHTING CONTROL KEYPAD OR SCENE CONTROL DEVICE ○ ○ CONTROL SYSTEM LOAD ID NUMBER |
|--|--|---|

GENERAL NOTES:

- REFER TO ARCHITECTURAL AND MILLWORK DRAWINGS FOR ADDITIONAL LIGHTING INFORMATION.

KEY NOTES:

- VERTICALLY MOUNTED LINEAR LED.
- UNDERCABINET LINEAR LED MOUNTED TO THE BOTTOM OF THE UPPER CABINET.
- FIXTURE WITH TRIM ADAPTOR FOR WOOD CEILING. ADDITIONAL COORDINATION REQUIRED.

December 13, 2019

Ms. Susan Chen
Village of Winnetka
1390 Willow Road
Winnetka, IL 60093



Dear Ms. Chen:

We have been asked to respond to those items in your comment letter dated November 11, 2019 pertaining to the civil engineering design of the site improvements at 1255 Willow Rd. We have been working with the architect, JNKA, to provide a design that is in keeping with flood plain, MWRD and local requirements. There is no topographic survey available for the site at large, however, we feel that the scope of the work should not require this additional expense. The actual improvement is small and consists of permeable pavers. In addition, in an effort to allay any concerns of “new impervious areas” being added, the client has agreed to remove existing impervious areas from the site to make the improvement a net zero improvement with respect to imperviousness.

With respect to your comments in the letter we have been asked to provide the following:

1. The site is in floodplain. As such, any fill that may be added will be compensated for on site at a 1.1:1 ratio. A note to that effect is added to the plans. It is anticipated that approximately 35.44 CF (1.31 CY) of fill may be required. A corresponding (estimated) 1.44 CY of soil would be removed from an already existing berm on site.
2. As stated above, a note has been added requiring compensatory storage for any fill.
4. As stated above, existing impervious surface will be removed to create a slight reduction in overall imperviousness. This is noted in the Impervious Lot Coverage summary.
5. See item 4. No detention required.

We have also been asked to comment on the permeable paver and underdrain design. The permeable paver and underdrain design are in keeping with MWRD requirements for volume control (even though not required) and in keeping with the manufacturer’s details. The stone section is thicker than is required by the MWRD, and would by default actually provide some storage in larger events (although, again, not actually required).

Please contact me if you have any questions or require any additional clarification.

Very truly yours,

Eriksson Engineering Associates, Ltd.



George Dreger, P.E.
Principal/Sr. Project Manager

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

SPECIAL USE PERMIT APPLICATION

Case No. 19-32-SU

Property Information

Site Address: 1255 WILLOW RD.

Applicant Information

Name: WINNETKA PRESBYTERIAN Church

Primary Contact: Robert LEWIS

Address: [REDACTED]

City, State, ZIP: Northfield, IL, 60093

Phone No. [REDACTED]

Email: [REDACTED]

Owner Information

Name: WINNETKA PRESBYTERIAN Church

Primary Contact: Robert LEWIS

Address: [REDACTED]

City, State, ZIP: Northfield, IL, 60093

Phone No. [REDACTED]

Email: [REDACTED]

Architect Information

Name: Jaeger Nickola Kunlman & Associates

Primary Contact: Fernando Alessandrini

Address: 250 S. Northwest Hwy Suite 310

City, State, ZIP: Park Ridge, IL, 60068

Phone No. 847-692-6166

Email: falessandrini@jnka-architects.com

Attorney Information

Name: _____

Primary Contact: _____

Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Applicant Signature: [REDACTED]

Date: October 16, 2019

Property Owner Signature: [REDACTED]
for the Church

Date: October 16, 2019



Special Use Application by Winnetka Presbyterian Church
Date of Application October 16, 2019

Representing the Applicant : Robert Lewis , Church Elder for Building and Grounds
assisted by Fernando Alessandrini, JNKA Architects

We are Winnetka Presbyterian Church established around 1950 and our original Church building was constructed in 1960 at the Northeast corner of Willow Rd and Hibbard Rd. We own the facility which expanded its footprint on the site by building additions enabled by the Village's approval of variations and a Special Use Permit under Ordinance No. M-1-2000.

As will be noted in the following narrative our application is for a minor amount of additional impermeable surface and two other building modifications. One is addition of a door in an existing exterior wall and addition of 3 skylight covers in existing openings in a roof overhang. Descriptions and reasoning are addressed below. These changes relate to accessibility to a Columbarium structure added to the exterior of the church in 2000.

Special Use Approval We are Requesting

Our year 2000 expansion included addition of a gathering area for meetings, and food service which we call the Christian Life Center. It is fully open space with floor to Ceiling height at its peak of 40 Ft. Other expansion spaces included an entry area, admin office, enclosed ceiling over a former interior garden area, second level classrooms and an exterior Columbarium structure. A satellite view of our lot and building structures is included in our documentation.

Completion of the year 2000 expansion addressed a specification by the M-1-2000 ordinance of an impermeable surface for the lot of 76, 566 square feet. At this time October 2019 we are requesting a variation of adding 543 square feet of impermeable surface which in percentage terms is a change of 0.7 %. The implementation is planned for 2020.

The reason for this requested zoning variation is to address a defect in practical and safe usage of the columbarium which was added to the exterior at the original building's Northwest corner. The location is readily viewed in a satellite image included in this submission. The defect is one of original design in which there was no convenient provision for access from the church's interior direct to or at least close-by the columbarium.

The effect of the current layout is that access for interment services necessitates a walk-about along Willow Rd, followed by a turn on Hibbard Rd and then a slanted walk up a grass berm on spaced blue stone pads. We have seen this unnecessarily challenging for people using walkers or wheelchairs and most certainly challenging when rain threatens a pre-planned interment by family members and friends. This problem is a hardship which was overlooked in the year 2000 design. We believe we now have an effective solution and one which is compliant with Village zoning and special use requirements.

We have selected a desirable solution in partnership with licensed architects and have processed detailed drawings and other requested materials through the Village's Development Department, which brings us to this point of seeking zoning variation and special use approval.

The brief description of our solution is as follows: We will cut through and open a door in a single level brick and stone wall which abuts the Columbarium. There will be an interior phase of our project which encompasses floor replacement and leveling of the gathering interior space which accommodates the door opening. The exterior phase we plan is relevant to the impervious material variation request. We propose to provide a stable surface within the columbarium and also outside and of sufficient size to accommodate a small group gathering for memorial services. This will be accomplished by a design which uses Unilock style pavers in a circular plaza like design and also a crushed stone pathway along the West side of our main sanctuary as far as our North driveway. This treatment shown in our drawings allows efficient access during hours when the church is not open.

Drawings and photos are included in this submission and footnotes or captions serve to describe where the door will be positioned and where the pavers will extend and stone pathway start. Three exterior skylights are added to cover three existing roof openings near the new door.

Immediately following this page is a page which addresses the six standards for special use. Following are supporting documents including photographs and relevant site plans or tabular information.

STANDARDS FOR GRANTING SPECIAL USE PERMITS - RESPONSES BELOW

1. The establishment, maintenance, and operation of the special use will not be detrimental to or endanger the public health, safety, comfort, morals or general welfare.
2. The special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity which are permitted by right in the District, nor substantially diminish property values in the immediate vicinity.
3. The establishment of the special use will not impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern
4. That adequate measures have or will be taken to provide ingress and egress in a manner Which minimizes pedestrian and vehicular congestion in the public ways
5. That adequate parking, utilities, access roads, drainage and other facilities necessary to The operation of the special use exists or are to be provided ; and
6. That the special use in all other respects conforms to the applicable regulations of this and other Village ordinances and codes

RESPONSES

1. The requested special use change is minor in scope and will only enhance the function of the church. It will not in any manner threaten or present a hazard to the public good
2. The changes requested are almost invisible to and far removed in distance from nearby properties. Neighbors can feel assured of no diminishment in property values.
3. There are no aspects of our changes which impede development of any neighboring or nearby property
4. Ingress and egress to our property already function smoothly and will not change; we intend to maintain that situation properly.
5. Drainage of the additional impervious surface has been addressed intensively from the beginning through hiring a civil engineer consultant who along with our architect consulted extensively with the Village Civil engineer. An agreed design involving sub-surface stone material and piping connections to the Village storm sewer system has been adopted.
6. We take seriously our commitment to adhere to all Village codes, regulations and ordinances

ATTACHMENT C
2000

ORDINANCE NO. M-1-2000

AN ORDINANCE GRANTING VARIATIONS AND A SPECIAL USE PERMIT TO ALLOW EXPANSION OF A CHURCH BUILDING AT 1255 WILLOW ROAD

WHEREAS, the Winnetka Presbyterian Church is the owner of the following described real estate:

Lot 14 to 22, both inclusive, in Block 6 in Winnetka Manor, being a Subdivision of the South 45 acres of the West 90 acres of the Northwest ¼ of Section 20, Township 42 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

which is commonly known as 1255 Willow Road, Winnetka, Illinois, and which is located in the R-5 Single-Family Residential District provided in the Winnetka Zoning Ordinance, Title 17, Winnetka Village Code; and,

WHEREAS, the Winnetka Presbyterian Church (hereinafter the "Church"), which was founded in the 1950's is located on the Subject Property, which is improved with a church building that was built in 1960 and a parking lot; and

WHEREAS, church buildings are permitted as special uses in the R-5 Single-Family Residential District, subject to the conditions and requirements pertaining to special uses, as set forth in Chapter 17.12 of the Winnetka Zoning Ordinance; and,

WHEREAS, the Church has filed applications for a special use permit under Section 17.12.010.B.2.a of the Winnetka Zoning Ordinance, and for the following variations, all to allow the expansion of the existing church building and reconfiguration of the parking lot, as described in the plans accompanying the applications for special use permit and variations: (a) a variation from the maximum building size (gross floor area) limitations of Section 17.12.010.G, to allow the existing, legally nonconforming gross floor area to be increased by 16, 876.19 square feet, from 26,514.67 square feet to a total of 43,390.86 square feet, whereas the maximum permitted gross floor area is 21, 135.00 square feet, resulting in a variation of 22,255.86 (105.30%); (b) a variation from the intensity of use of lot limitations of Section 17.12.010.F, to allow the existing legally nonconforming roofed lot coverage of 21,921.09 square feet to be increased by 11,804.83 square feet to a total of 33,725.92 square feet, whereas the maximum permitted roofed lot coverage is 21,000.00 square feet, resulting in a variation of 12, 725.92 square feet (60.60%); and (c) a variation from the intensity of use of lot limitations of Section 17.12.010.F to allow the existing legally nonconforming impermeable lot coverage of 60,490.09 square feet to be increased by 16, 076.83 square feet to a total of 76,566.92 square feet, whereas the maximum permitted impermeable lot coverage is 42,000.00 square feet, resulting in a variation of 34,566.92 square feet (82.30%); and (d) a variation from the requirements of Section 17.12.010.M3 to permit eleven (11) parking spaces to be located in a required front yard within 12.0 feet of the south property line, whereas a setback of 30.0 feet is required; and

WHEREAS, on December 16, 1999, the Design Review Board issued favorable comment on the proposed building expansion and parking lot reconfiguration, subject to receiving a final exterior site plan, including landscaping and lighting, and to receiving further detail on materials and finishes, particularly for windows and related wood "bulkhead" panels; and

WHEREAS, the Plan Commission considered the Church's proposal at its meeting on December 8, 1999, and by the unanimous vote of the nine members then present, found the proposal to be consistent with the Comprehensive Plan, but expressed a concern about storm drainage from the Subject Property; and,

WHEREAS, pursuant to due notice thereof, the Zoning Board of Appeals conducted a public hearings on said applications for special use permit and variations, December 13, 1999, and January 10, 2000; and,

WHEREAS, following the public hearing on December 13, 1999, which covered the request for special use and the variations from maximum building size, roofed lot coverage and impermeable lot coverage, by the favorable vote of four of the five members then in attendance, the Zoning Board of Appeals voted to recommend to the Village Council that the special use permit and the maximum building size, roofed lot coverage and impermeable lot coverage variations be granted; and

WHEREAS, following the public hearing on the front setback variation on January 10, 2000, the Zoning Board of Appeals unanimously recommended that the variations be granted; and

WHEREAS, a parish hall that was included in a long range plan prepared by the Church in the 1950's was not completed and the Church does not have a parish hall and modern kitchen, which are standard practices in churches in the area, and

WHEREAS, the Church has submitted evidence that its school enrollment has more than doubled since 1996 and that there are approximately 150 children in the school program, including 35 in senior high and approximately 20 in junior high, but that there is no interior space in the church building that can accommodate more than 25 children at one time and that it must use other facilities to gather more than 20 children at a time; and

WHEREAS, the Church has submitted evidence that it needs to have the ability to gather large groups of children at the same time and that the proposed classrooms, plus the proposed multi-purpose space that can be used for other purposes as well, will meet that need; and

WHEREAS, the Church projects that it will grow at the rate of 7% per year for the next five years; and

WHEREAS, the Church has submitted evidence of a need to provide expanded facilities, including expanded gathering space, additional classrooms and offices, kitchen facilities and a reconfigured entrance, in order to provide fully accessible, adequately sized facilities to allow all church activities to take place on the Subject Property; and

WHEREAS, there are no other locations within the immediate proximity of the Church that would allow it to conveniently, safely and economically hold its educational and social functions off the Subject Property; and

WHEREAS, the proposed expansion of the church facilities will provide gathering space, classrooms and multi-purpose areas, all of which will allow the Church to conduct all of the activities of its ministry in a single location; and

WHEREAS, the Church has established that continuing to conduct its activities in a single location is necessary to meet its program needs and to assure the long-term viability of the Church, which has been a significant part of the Winnetka community for over 40 years; and

WHEREAS, there are practical difficulties and particular hardships in carrying out the strict letter of the Winnetka Zoning Ordinance as it applies to the Subject Property in that: (1) the 1.92 acre Subject Property cannot be expanded, because it is landlocked, being located at the northeast corner of Hibbard and Willow Roads, with single family residences abutting it to the north and east; (2) the Village of Winnetka is a mature community and no alternative sites of sufficient size are available for the Church's facilities; (3) the Subject Property is located on a corner, which requires additional front setbacks, further restricting the amount of buildable area for any church expansion; and (5) the church's ministry, such as worship, religious education, funerals, weddings, meetings and social activities, will be substantially burdened without the proposed addition; and

WHEREAS, unless the requested relief is granted, the property in question cannot yield a reasonable return to the Church, in that the area for the proposed addition would be rendered useless to the Church for its ministry, as it would effectively be limited to the parking that presently exists there; and

WHEREAS, the plight of the Church is due to unique circumstances, because of the practical difficulties and particular hardships described above, and because the Church's use of the Subject Property is for the furtherance of its religious ministry rather than the private comfort, convenience or monetary benefits that typically attach to residential and commercial uses of property; and

WHEREAS, the variations, if granted, will not alter the essential character of the locality, in that: (1) the proposed addition has been designed to be sensitive to its surroundings and compatible with the architecture of the existing church, which is a recognized visual fixture at the northeast corner of Hibbard and Willow Roads; and (2) the expanded facilities being proposed will continue to provide the same type of service at the same location; and

WHEREAS, an adequate supply of light and air to adjacent property will not be impaired, because the Subject Property is bounded on its west and south sides by public streets, no changes will be made to the north side of the building and the east side of the Subject Property will continue to be used for parking; and

WHEREAS, the hazard from fire and other damages to the property will not be increased, since the addition will be constructed in accordance with all applicable building codes, making it no more hazardous than any other construction built according to those codes; and

WHEREAS, the proposed addition to the church building is generally an improvement to the Subject Property and there is no credible evidence that the taxable value of land and buildings throughout the Village will diminish as a result of the proposed addition; and

WHEREAS, there is no evidence that congestion in the public streets will increase, because the area streets are not operating at traffic capacity and the plan to go from a single Sunday service to two services will reduce traffic volumes by spreading the traffic over a larger period of time; and

WHEREAS, there is no evidence that the public health, safety, comfort, morals and welfare of the inhabitants of the Village will be impaired by the proposed addition, if it is constructed subject to the conditions specified in this ordinance; and

WHEREAS, there is no evidence that the proposed addition, if constructed in accordance with the conditions set forth in this ordinance, will substantially diminish or impair property values in the immediate vicinity; and

WHEREAS, there is no evidence that the proposed addition, if constructed in accordance with the conditions set forth in this ordinance, will be substantially injurious to the use and enjoyment of other property in the immediate vicinity; and

WHEREAS, the Church is an established use located at the edge of an established single-family residential area, and there is no evidence that construction of the proposed addition subject to the terms and conditions of this ordinance will impede the normal and orderly development or improvement of other property in the immediate vicinity; and

WHEREAS, adequate measures have been taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways, in that the proposed addition continues to provide off-street parking, provides an on-site passenger drop-off, provides for access by persons with disabilities, and enables the Church to continue to hold all of its activities in a single location; and

WHEREAS, adequate utilities, access roads, drainage and other facilities necessary for the operation of the special use on the Subject Property exist due to the presence of the existing facility and, to the extent that they do not, they will be provided when the proposed addition is constructed in compliance with applicable Village Code requirements; and

WHEREAS, it is not practicable to require the Church to provide additional on-site parking, which either would require changing the footprint, height or location of the building addition, creating a greater impact on adjacent residences, or would reduce the amount of space available to the Church for its program needs, and the effect of the proposed reduction in on-site parking spaces is ameliorated by the change to two services on Sunday and by the availability of on-street parking in the immediate vicinity; and

WHEREAS, the special use, when constructed in accordance with the terms and conditions of this ordinance, will conform to the applicable regulations of the Zoning Ordinance and the Winnetka Village Code;

NOW, THEREFORE, the Council of the Village of Winnetka do ordain:

SECTION 1: That the Village Council hereby adopts the foregoing preambles to this ordinance as its findings.

SECTION 2: That, subject to the terms and conditions hereinafter set forth, the following variations are hereby granted to the Subject Property, which is commonly known as 1255 Willow Road, is the site of the Winnetka Presbyterian Church and is located in the R-5 Single-Family Residential zoning district, all to allow the expansion of the existing church building and reconfiguration of the parking lot, as described in the plans dated November 11, 1999: (a) a variation from the maximum building size (gross floor area) limitations of Section 17.12.010.G, to allow the existing, legally nonconforming gross floor area to be increased by 16, 876.19 square feet, from 26,514.67 square feet to a total of 43,390.86 square feet, whereas the maximum permitted gross floor area is 21, 135.00 square feet, resulting in a variation of 22,255.86 (105.30%); (b) a variation from the intensity of use of lot limitations of Section 17.12.010.F, to allow the existing legally nonconforming roofed lot coverage of 21,921.09 square feet to be increased by 11,804.83 square feet to a total of 33,725.92 square feet, whereas the maximum permitted roofed lot coverage is 21,000.00 square feet, resulting in a variation of 12, 725.92 square feet (60.60%); and (c) a variation from the intensity of use of lot limitations of Section 17.12.010.F to allow the existing legally nonconforming impermeable lot coverage of 60,490.09 square feet to be increased by 16, 076.83 square feet to a total of 76,566.92 square feet, whereas the maximum permitted impermeable lot coverage is 42,000.00 square feet, resulting in a variation of 34,566.92 square feet (82.30%); and (d) a variation from the requirements of Section 17.12.010.M.3 to permit eleven (11) parking spaces to be located in the front yard setback within 12.0 feet of the south property line, whereas a setback of 30.0 feet is required.

SECTION 3: That, subject to the terms and conditions hereinafter set forth, a special use permit under Section 17.12.010.B.2.a of the Winnetka Zoning Ordinance is hereby granted with respect to the Subject Property, which is commonly known as the 1255 Willow Road, is located in the R-5 Single-Family Residential district, and is the location of the Winnetka Presbyterian Church, 1255 Willow Road, to allow expansion of the existing special use of a church facility on the Subject Property by constructing an addition and reconfiguring the parking lot, to create new areas for social gatherings, kitchen facilities, classrooms and offices, in accordance with the plans dated November 11, 1999.

SECTION 4: That the variations and special use permit hereby granted are subject to all of the following conditions:

- A. The Church shall commence the proposed construction within twelve (12) months after the effective date of this ordinance.

B. The Church shall prepare and submit a drainage and grading plan for review and approval by the Village Engineer. In addition to meeting all applicable requirements imposed by statute or Village ordinance, the drainage and grading plan shall include the following elements:

1. The modification of stormwater drainage at the west end of the north driveway in a manner acceptable to the Village Engineer, which shall include one or more of the following: extending the retaining wall, re-grading the driveway, installing an additional drain and taking such other or additional steps as the Village Engineer determines is necessary.

2. Calculations necessary to demonstrate the existing run-off rate and the proposed run-off rate, along with a plan that shows, to the Village Engineer's satisfaction, (i) appropriate restrictions to the stormwater outlet to equalize the two rates, (ii) a detention plan and (iii) appropriately designated overflow routes.

3. Calculations necessary to demonstrate the amount of floodplain water storage that will be lost as a result of grade changes or areas of fill, along with a plan that shows, to the Village Engineer's satisfaction, that an equivalent amount of compensatory stormwater storage is provided.

C. The Church shall assume all costs and responsibility for the operation and maintenance of all exterior lighting, which shall include either the removal and replacement, or the purchase and modification, of the existing lights along the north property line, which are currently owned, operated and maintained by the Village. The Water and Electric Department shall bill the Church for electric service provided for exterior lighting at the same rate and in the same manner as it bills for similar use by similar customers in the Village.

D. The Church shall obtain the Village Council's approval of a final lighting plan, which shall be submitted to the Council after receiving review and comment from the Design Review Board. The final lighting plan shall meet the following requirements:

1. It shall be consistent with the disposition of the lights along the north property line, as required in paragraph C of this Section;

2. It shall provide lighting to safely illuminate the exterior of the Subject Property while minimizing the spillage of light to adjoining properties; and

3. It shall include a detailed description of all exterior lighting fixtures, including the height of the fixtures and the intensity of light they generate, and a description of all steps taken to mitigate the impact of lighting on adjoining properties, including proposed hours of operation, direction of light and any light filtering or baffling devices to be used.

E. The Church shall obtain the Village Council's approval of a final landscaping plan, which shall be submitted to the Council after receiving review and comment from the Design Review Board. The final landscaping plan shall meet the following requirements:

1. It shall use landscaping materials approved by the Village Forester;

2. It shall provide a buffer between the Church building and the single-family residential properties located at 1228 Ash and 1234 Ash.

3. The landscape plan shall not reduce the number of parking spaces depicted on sheet A-21 of the plans submitted with the variation and special use application, dated November 11, 1999.

4. The landscape plan shall be mutually agreeable to the Church and the owners of the properties at 1228 Ash and 1234 Ash, provided that, if the Church and said owners are unable to reach an agreement after making a reasonable, good faith effort to do so, the Church may submit a proposed landscape plan for review and comment; and

5. The Church shall be bound by the Council's final determination on the landscape plan.

F. The lighting plan and the landscape plan required by this ordinance may be consolidated into a single plan.

G. The Church shall provide a solid enclosure for refuse containers, in the location indicated on the site plan depicted on sheet A-21 of the plans submitted with the variation and special use application, dated November 11, 1999, with final approval of the materials for the enclosure to be subject to review and approval of the Design Review Board.

H. The air conditioning units for the Church building and addition shall meet all standards of the Village Code and shall be placed in such a location and equipped with such sound attenuation devices as necessary to comply with those standards. The Church shall provide all necessary technical documentation, prepared and signed by a qualified professional, necessary to demonstrate compliance with said standards. Unless otherwise approved by the Village Council, the Church shall provide a solid enclosure for the air conditioning units, in the location indicated on the site plan depicted on sheet A-21 of the plans submitted with the variation and special

use application, dated November 11, 1999, with final approval of the materials for such enclosure at that location to be subject to review and approval of the Design Review Board. Materials used for such enclosure at any other location on the Subject Property shall be subject to the approval of the Village Council.

SECTION 5: In the event that any provision of this ordinance conflicts with any other ordinance of the Village, the provisions of this ordinance shall prevail.

SECTION 6: That this Ordinance shall be in full force and effect from and after its passage, approval, and posting.

ADOPTED this 15th day of February, 2000, pursuant to the following roll call vote:

AYES: Trustees Aquilino, Dering, Duhl, Hilton, Lien and Powell

NAYS: None

ABSENT: None

APPROVED this 15th day of February, 2000.

Signed:

/ss/Louise A. Holland

Village President

Countersigned:

/ss/Douglas G. Williams

Village Clerk

Introduced: January 4, 2000

Posted: January 5, 2000

Passed and Approved: February 15, 2000

Posted: February 16, 2000

ATTACHMENT D

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Case No. 19-32-SU: 1255 Willow Road—Winnetka Presbyterian Church
Date: Thursday, November 14, 2019 3:15:15 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Ann:

I am a resident of Winnetka and live at [REDACTED] Ash Street.

I am writing to voice my opposition to approve a variance that would allow Winnetka Presbyterian Church to increase its impermeable lot coverage. In the spirit of efficiency, I hope that you can pass along this email to the members of the Zoning Board of Appeals who are reviewing this proposal.

Leslie Farmer is a neighbor and recently submitted a very detailed, well written letter to the Zoning Board of Appeals which highlights her opposition to this variance request. Winnetka Presbyterian Church already exceeds its impermeable lot coverage allowance by 85%. Enough is enough. We just don't need to increase the burden on Winnetka's water issues until the existing issues are solved! Approval of this zoning variance will only make an existing problem worse.

Rather than re-write and burden the Board with another letter, I would like to let the Board know that I am in full agreement with Leslie's letter and oppose the variance request.

Thanks you very much facilitating this email and I am reachable should the Board have any questions.

Thanks again,
Doug

Douglas Crimmins
[REDACTED]

Leslie Farmer

█ Berkeley Ave.
Winnetka, IL 60093



November 13, 2019

Village of Winnetka
Zoning Board of Appeals
Staff Liaison, Ann Klaassen

Re: Case No. 19-32-SU: 1255 Willow Road—Winnetka Presbyterian Church

Dear Ms. Klaassen:

I am writing in reference to the above mentioned appeal to the Zoning Board of Appeals for variance to permit improvements to exceed impermeable lot coverage by the Winnetka Presbyterian Church. I would appreciate it if you would forward my letter on to the members of this Board.

Together with several of my neighbors I attended Monday night's meeting of the Zoning Board to voice opposition to approving the aforementioned variance. I would like to further clarify the situation regarding flooding problems in our neighborhood which relates to this appeal.

As residents who have been repeatedly subject to serious storm water flooding during major storm events, we have attended numerous informational sessions regarding possible solutions to this problem, in particular by the Strand Group. Here are some salient facts which were presented:

1. Overland water originally flowed north to south and east to west in our area, draining into what was a marsh area west of Hibbard Road. When the Skokie Lagoons were constructed, the marsh was drained and Hibbard Road was raised, creating Duke Childs Field and the Park District land. In doing this, they created a giant "bowl" encompassing the entire Tree Street area from Green Bay Road to Hibbard Road. The elevation is high at Green Bay Road and at Hibbard Road and lower in between. That is, there was no longer a natural drainage flow. The variance granted the Church in 2000 which permitted construction of the perimeter wall around its property prevents natural water flow from yards east and north of the Church property and directly contributes to the backyard flooding issues these neighbors experience during even normal rainfalls. My property is far enough away from the Church that it is not directly impacted by this, as there are other neighbors' lots in between.
2. However, my property, along with hundreds of other properties in the area, is affected during major storm events because **the storm water system was designed to follow the same north to south, east to west flow**. As Sarah Balassa noted in the meeting, during these events, the storm water system in the area is completely overwhelmed and can hold no more water. All storm water from Green Bay Road west flows down the Tree Streets westward and is supposed to empty into the main sewer line flowing north to south down Hibbard Road. However, due to increased development to the north, and from the Hubbard Woods area, that storm water line is filled to capacity before it even reaches the Tree Streets. (One Village worker told a neighbor it would have to be at least 10 times larger than what is there to handle the load.) Therefore, when the storm water from the Tree Streets toward Green Bay Road tries to drain into that filled sewer line, it cannot and backs up out of the storm water drains into our neighborhood streets, sidewalks, yards and basements.

3. Years ago the Village advised us to disconnect our properties from the storm water system which was overloaded and flash our downspouts. Like the Kehls who spoke on Monday night, I did that and tens of thousands of dollars of additional prevention to keep my basement from flooding. You can see the frustration of my neighbors and myself when we are being flooded by water that isn't even ours—it is coming from uphill while our water is flashed onto our own yards.
4. When the architect for the Church stated the additional impermeable coverage would have no effect on the neighbors, it simply isn't true. The plan to drain water into the storm water system is absolutely futile because during major storm events that sewer main is filled to capacity. The water will not be able to drain into the storm water system and will add to the back up of water from the street drains.
5. Considering the amount of resources the Village is devoting to try and remedy this storm water situation, to grant an additional variance to the Church which already exceeds the impermeable lot coverage allowed by 85% is irresponsible and unfair to all of its neighbors.
6. The request is completely unnecessary to facilitate the use of the columbarium (they have been getting by for the past 19 years), especially if the new doorway and skylights are allowed. I believe it was stated that there were only approximately 243 spaces in the columbarium, which means the number of burials will be limited. The only time the inside of the church would not be available for families to visit is Friday afternoons. It would seem this is not a hardship for those families, who could still access the area via the outside.

In conclusion, I urge the members of the Zoning Board to reject this variance appeal with regard to permitting increased permeable lot coverage.

Thank you for your attention and service to the Village residents.

Sincerely,

Leslie F. Farmer

Leslie F. Farmer

Cc: Matthew Bradley
Walter Greenough
Sarah Balassa
Kim Handler
Lynn Hanley
E. Gene Greable

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Church request zoning
Date: Thursday, November 7, 2019 3:30:06 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

We recently moved to [REDACTED] Ash Street last August. Being new to the area and now having experienced the seasons here, we are opposed to any further expansion of the church facility. We cannot attend Monday evenings meeting unfortunately because our son has an event at school at that time. We wanted to be sure our voices were acknowledged. The pooling of water we get in our backyards (and history of this since it was built-as I understand it from the neighbors) and simply looking at the set up of the church wall- we are strongly opposed to any further structure. We would like the town to look into the existing parking lot and structure and correct the severe lack of drainage that it has been causing! These neighbors have spent considerable amounts of money to put in place temporary solutions to address this and some more permanent and certainly costly!
Thank you for your consideration of our stance on this issue.

Cynthia and Dan Anglemyer

Sent from my iPhone

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Winnetka Presbyterian Church
Date: Thursday, November 7, 2019 9:54:08 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Klaassen,

I am e-mailing you with the request that you forward this e-mail to the members of the zoning board in advance of Monday's meeting to address the requested variance by the Winnetka Presbyterian Church. We live at [REDACTED] Ash and were surprised to receive the notices of the church's request to obtain yet another variance while they already exceed the maximum by 82%.

As it is, our property floods with any moderate rain -- not just a 10 year or 50 year or 100 year rain. I happen to have photographs of 2 such occurrences -- in October alone. (Please see attached.) These were not even rains mentioned as big rain events on the news. One was Oct. 3rd and the other was when it started to snow on Halloween and the yard began to flood. We cannot encourage a plan which would divert more water in our direction.

Residents on our block have invested a great deal of money in an attempt to prevent water in their homes and on their property. With those steps forward, this would be a step backwards. We are all encouraging the Village of Winnetka to help us with a plan to mitigate the water, not approve requests for more pavement. With global warming, we all fear weather patterns with more flooding rains.

Thank you for your consideration.

Carol and Bill Hyatt

P.S. The packet mentions that no one had written your committee yet concerning this issue. I spoke to my next door neighbor but she did not receive the mailing.





From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Requested Amendment to Special Use Permit--Winnetka Presbyterian Church
Date: Monday, November 11, 2019 5:35:28 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Klaassen:

Please forward this to members of the Zoning Board of Appeals.

As a Winnetka resident living near the Winnetka Presbyterian Church, I request the Board postpone action on the requested amendment until it has fully considered the consequences of approval and explored another option, referred to below.

The flooding issue has become more prominent as the climate appears to be changing and residents in the flood-prone areas have become more concerned with what the Village is doing and not doing. The Village cannot afford to set any bad precedents through its administrative actions. In this case, the change to permeability is relatively small, although it is for a site that is already substantially out-of-line based on current rules. There is no evidence presented that this will not have a detrimental impact other than the assertion to that effect by the applicant.

A better approach would be, as a condition of approval, to require the applicant to increase the permeability of another part of the site, as for example by changing a portion of the surface of its impermeable parking lot to allow rain water there to sink into the ground. The applicant would be required to provide evidence that the estimated improvement to the permeability of the parking lot was at least equal to the loss of permeability that will occur as the result of the proposed new improvements.

I am sure the Board members want to help residents who have to deal with the flooding problem. Approval of the proposed amendment as it now stands will send the wrong message: that the Village is not all-in on doing everything it can to alleviate our flooding problems.

John Vondran
[REDACTED] Euclid Ave.

From: [REDACTED]
To: [Ann Klaassen](#)
Subject: External: Zoning Exemption
Date: Monday, November 11, 2019 11:09:35 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I do not believe that it's in the Village and its residents' best interest to grant a zoning variance to the Winnetka Presbyterian Church to increase the amount of impermeable space on their lot. The residents of the neighboring houses are already dealing with their backyards flooding from the parking lot that the Church built years ago. They've had to purchase pumps and other devices to control the floodwaters. In addition, many if not most of the streets and lots in that area have faced massive flooding in the 15 years I've been a resident and owner of a house that's adjacent to their lot.

I strongly encourage the Village to reject the Church's request for a zoning variance.

Best,
Maritza Gibbons

[REDACTED] .phone
www.linkedin.com/in/maritzagibbons
[REDACTED] Ash Street, Winnetka, IL 60093



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, SENIOR PLANNER
DATE: JANUARY 8, 2020
SUBJECT: CASE NO. 20-02-V: 191 FULLER LANE -VARIATIONS

INTRODUCTION

On January 13, 2020, the Zoning Board of Appeals will conduct a public hearing on an application filed by William and Beth Cadigan (the “Applicants”) as the owners of the property at 191 Fuller Lane (the “Subject Property”). The Applicants request approval of the following zoning variations to allow an addition to the existing residence on the Subject Property:

1. Gross Floor Area (GFA) of 2,547.31 square feet, whereas a maximum of 2,390.8 square feet is permitted, a variation of 156.51 square feet (6.55%) [Section 17.30.040 – Maximum Building Size]; and
2. Side yard setback of 4 feet from the north property line, whereas a minimum of 6.12 feet is required, a variation of 2.12 feet (34.64%)[Section 17.30.060 – Side Yard Setback] [Note: The residence currently provides a north side yard setback of 6 feet].

A mailed notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance. The hearing was properly noticed in the *Winnetka Current* on December 26, 2019. As of the date of this memo, staff has received one written comment from the public regarding this application. This comment is provided in Attachment E of this report.

The Zoning Board of Appeals has final jurisdiction on this request as the Board has the authority to grant a variation to allow a zoning lot with a pre-FAR building (constructed prior to 1989) to exceed the maximum permitted gross floor area by no more than 10%.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.14 acres in size, is located on the east side of Fuller Lane, between Willow Road and Sheridan Road, and contains an existing two-and-half-story residence. Figures 1 through 3 on the following pages identify the Subject Property.

The property is zoned R-5 Single Family Residential, and it is bordered by R-5 Single Family Residential to the north, south, and west, and R-4 Single Family Residential to the east (represented in Figure 4 later in this report). The Comprehensive Plan designates the Subject Property as appropriate for single family residential development. The zoning of the property is consistent with the Comprehensive Plan.

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The residence and attached garage were built in 1922. The following subsequent building permits were issued in:

1. 1989 to construct a two-story addition on the rear elevation of the residence;
2. 1994 to construct a bay window on the rear elevation of the residence and remodel the interior; and
3. 2018 to remodel a bathroom.

There is one previous zoning case on file for the Subject Property. Ordinance M-394-94 was adopted by the Village Council in June 1994, granting a variation to allow the construction of a bay window on the rear elevation of the residence. The approved variation was for maximum building size (GFA). Ordinance M-394-94 is included in this report as Attachment D.



Figure 1 – Subject Property



Figure 2 – Subject Property

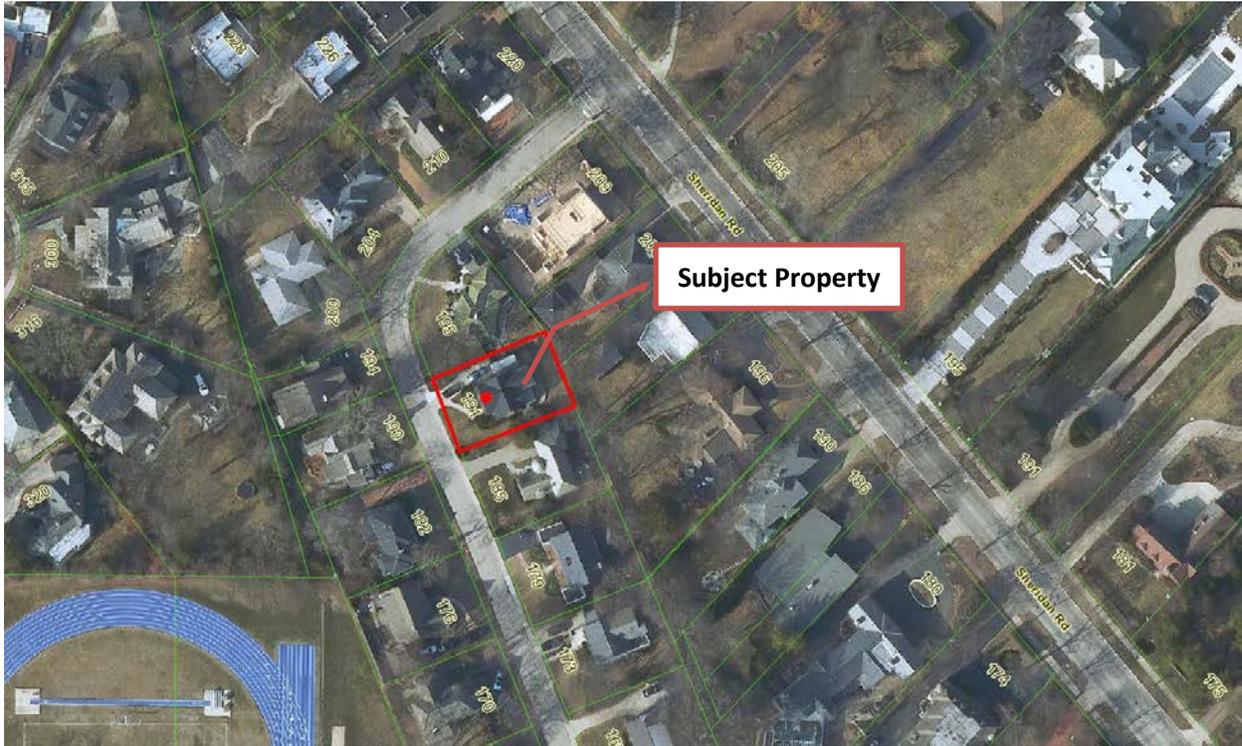


Figure 3 – Aerial Map

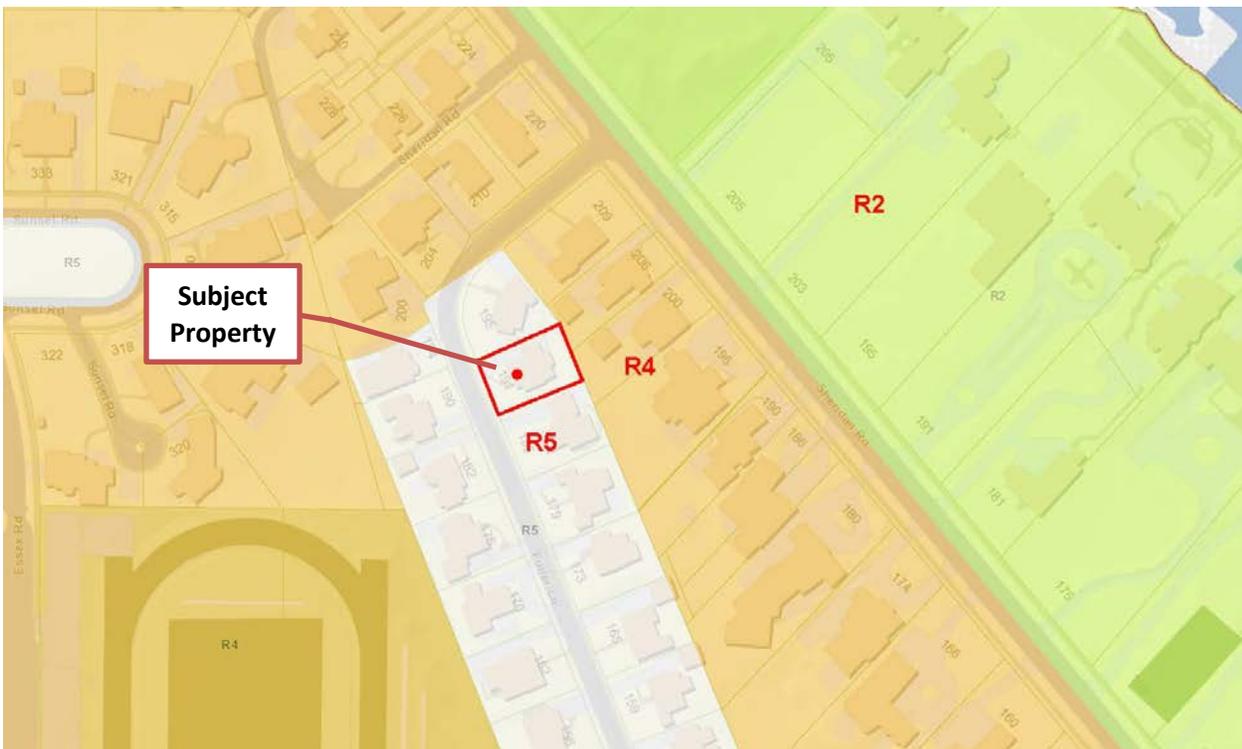


Figure 4 – Zoning Map

PROPOSED PLAN

The variations are being requested in order to construct a one-story addition on the north side of the residence. The existing one-car attached garage would be removed to accommodate a slightly larger one-car attached garage and a mudroom. The proposed addition would measure approximately 12.83

feet by 29.83 feet and provide additional garage space as well as a mudroom, which the residence currently does not have. The proposed garage would be approximately 2 feet wider and 2 feet longer than the existing garage, which currently has an interior width of 10 feet and an interior depth of approximately 18 feet. The net increase in the building size is approximately 172 square feet. Excerpts of the proposed floor plan and site plan are provided below as Figures 5 and 6. The complete set of plans representing the existing conditions as well as the proposed addition is provided in Attachment C.

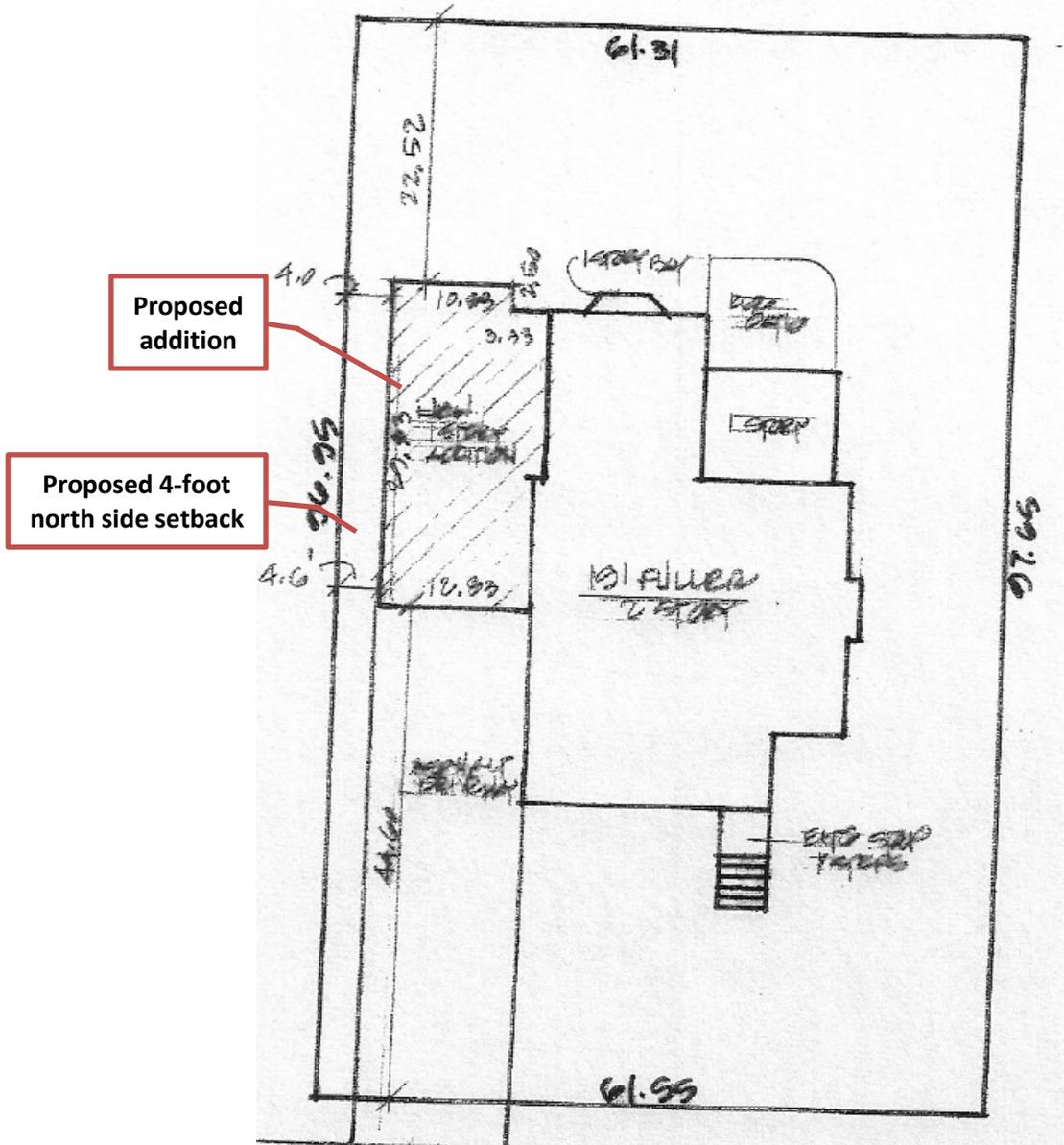


Figure 5 – Excerpt of Site Plan

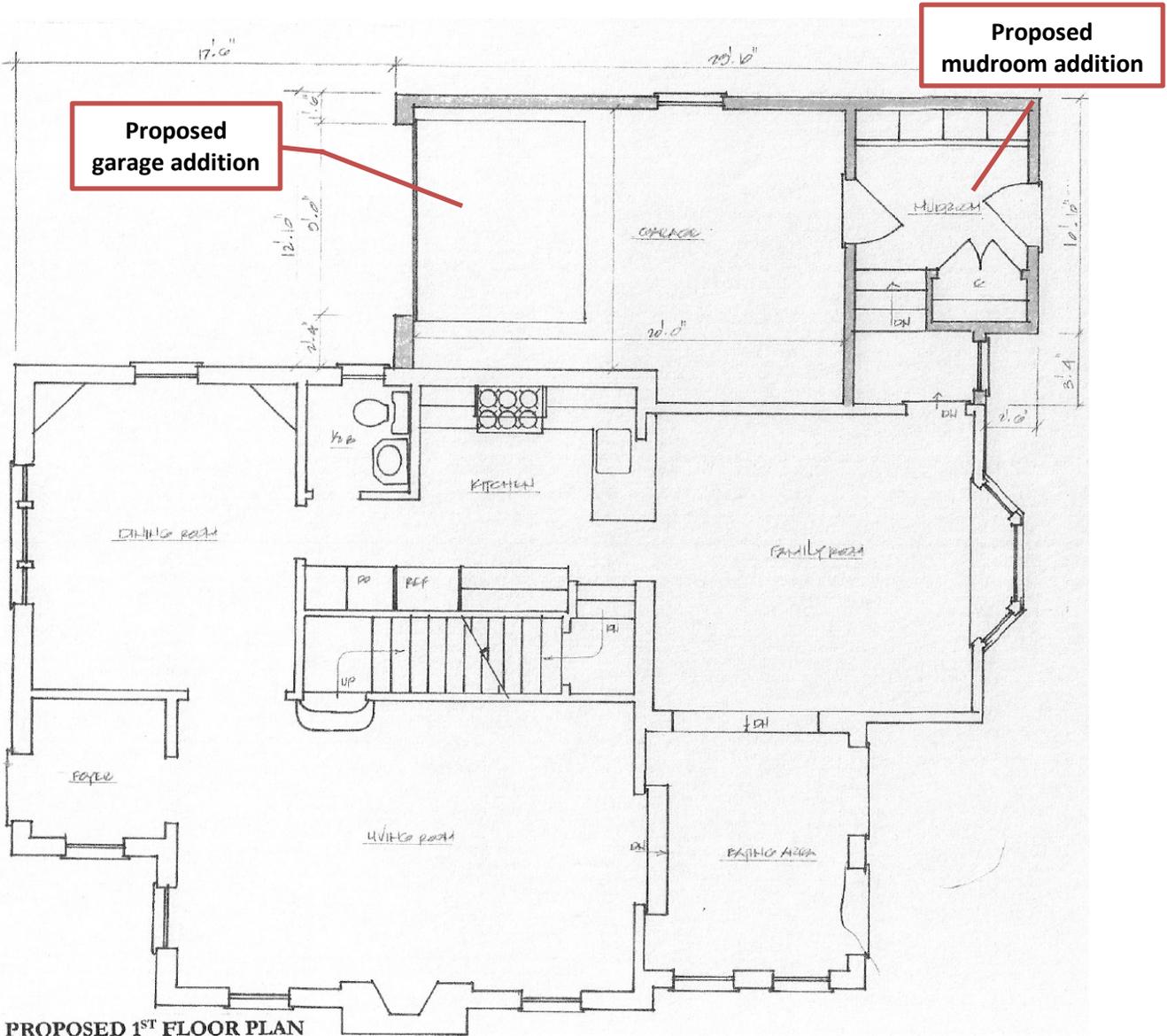


Figure 6 – Proposed First Floor Plan

Given the ZBA often receives questions regarding the stormwater regulations applicable to a specific request being considered by the ZBA, attached is a Stormwater Matrix (Attachment B). Based on the proposed plan, it appears additional stormwater detention would not be required. However, a final determination will be made by Village Engineering staff. Additionally, Figure 7 on the following page represents the Subject Property's proximity to the floodplain. The grey represents the 100-year flood area and the purple represents the 500-year flood area.

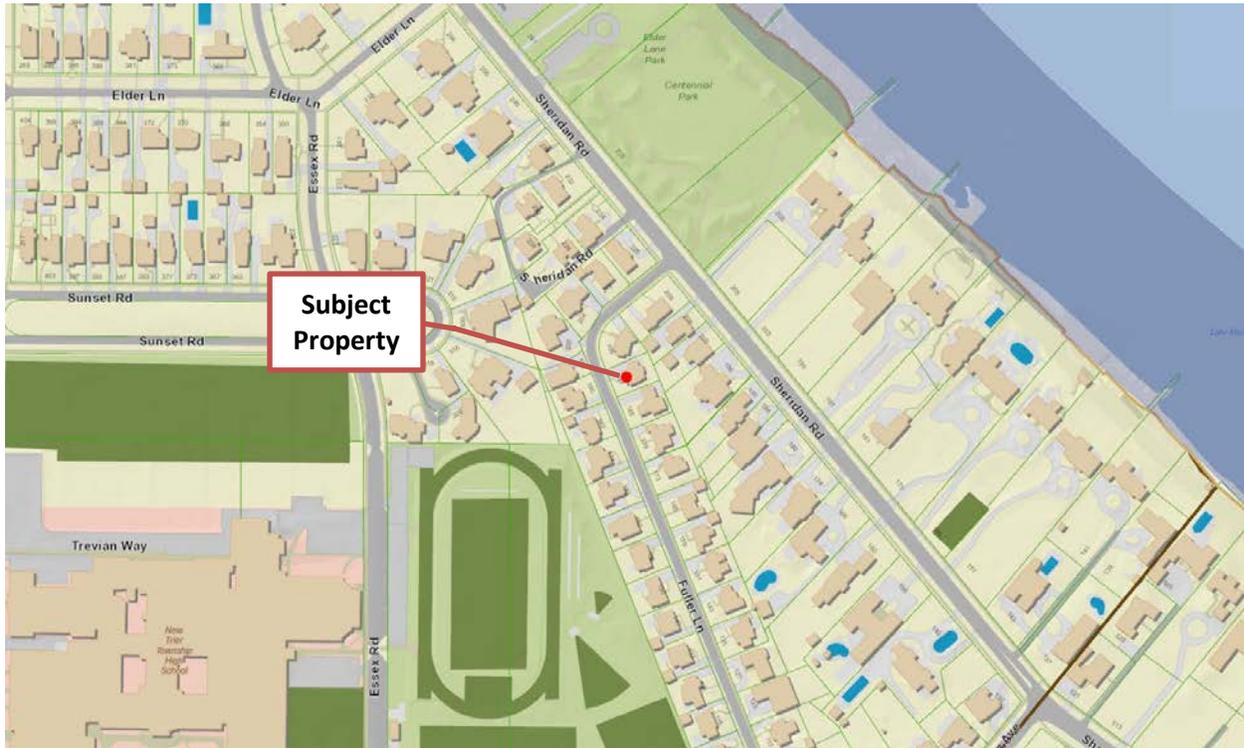


Figure 7 – GIS Floodplain Map

REQUESTED ZONING RELIEF

The attached zoning matrix highlights the existing lot and the proposed improvement’s compliance with the R-5 zoning district (Attachment A). Two variations are being requested: (1) GFA; and (2) Side Yard Setback. The proposed GFA is 2,547.31 square feet, whereas a maximum of 2,390.8 square feet is permitted. The proposed addition would increase the GFA by approximately 172 square feet.

The side yard setback variation would allow the proposed addition to provide less than the minimum required setback from the north property line. The proposed addition would provide a setback of 4 feet, whereas a minimum of 6.12 feet is required. The existing residence is nonconforming with respect to the side yard setback as the residence currently provides a side yard setback of 6 feet from the north property line.

REQUESTED ZONING CONSIDERATION

The Applicants are requesting approval of the following zoning variations to allow an addition to the existing residence on the Subject Property:

1. Gross Floor Area (GFA) of 2,547.31 square feet, whereas a maximum of 2,390.8 square feet is permitted, a variation of 156.51 square feet (6.55%) [Section 17.30.040 – Maximum Building Size]; and
2. Side yard setback of 4 feet from the north property line, whereas a minimum of 6.12 feet is required, a variation of 2.12 feet (34.64%)[Section 17.30.060 – Side Yard Setback] [Note: The residence currently provides a north side yard setback of 6 feet].

FINDINGS

In the attached application materials submitted by the Applicants, the Applicants have provided a statement of justification regarding how the requested variations meet the standards for granting the

requested zoning variations. Does the ZBA find that the requested variations meet the standards for granting such variations; and if so, is the ZBA prepared to approve the requested variations?

Staff has prepared the attached draft resolutions for the Board's consideration (Attachment F). One resolution approves the request, while the other denies the request. A Board member may wish to make a motion to adopt either the resolution to approve the requested variations or the resolution to deny the requested variations.

ATTACHMENTS

Attachment A: Zoning Matrix

Attachment B: Stormwater Matrix

Attachment C: Application Materials

Attachment D: Ordinance M-394-94, adopted June 7, 1994

Attachment E: Public Correspondence

Attachment F: Draft Resolutions

ATTACHMENT A

ZONING MATRIX

ADDRESS: 191 Fuller Lane

CASE NO: 20-02-V2

ZONING: R-5

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	8,400 SF	5,977 SF	N/A	N/A	EXISTING NONCONFORMING
Min. Average Lot Width	60 FT	61.23 FT	N/A	N/A	OK
Max. Roofed Lot Coverage	1,613.79 SF (1)	1,429.35 SF	1,601.8 SF	172.45 SF	OK
Max. Gross Floor Area	2,390.8 SF (1)	2,374.86 SF	2,547.31 SF	172.45 SF	156.51 SF (6.55%) VARIATION
Max. Impermeable Lot Coverage	2,988.5 SF (1)	2,210.47 SF	2,382.92 SF	172.45 SF	OK
Min. Front Yard (Fuller/West)	30 FT	27.1 FT	27.1 FT	0 FT	EXISTING NONCONFORMING
Min. Side Yard (North)	6.12 FT	6 FT	4 FT	(-)2 FT	2.12 FT (34.64%) VARIATION
Min. Total Side Yards	15.31 FT	20.35 FT	18.35 FT	(-)2 FT	OK
Min. Rear Yard (East)	14.64 FT	23.35 FT	22.47 FT	(-)0.88 FT	OK

NOTES:

(1) Based on lot area of 5,977 s.f.

(2) Variation amount is the difference between proposed and requirement.

ATTACHMENT B
Stormwater Volume Requirements for Development Sites

In addition to meeting the following storm water volume detention requirements, development sites must meet all other Village storm water management requirements such as drainage and grading, storm water release rates, storage system design requirements, etc.

	Storm Water Detention Volume Requirements	Applicable Requirement
A. New Home Construction - Previously Developed Lot	The amount of additional required storm water detention volume is based upon the difference between maximum impermeable lot coverage, per Zoning Code, and existing lot coverage, using the run-off coefficient for a 100-year storm event for both.	
B. New Home Construction - Previously <u>Undeveloped</u> Site	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
C. Redevelopment of Site for Different Use (e.g. single family to multi-family, or commercial)	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
D. Improvements to Existing Home and/or Lot, causing an increase in impermeable lot coverage <u>greater or equal to 25%</u>.	The amount of additional required storm water detention volume is based upon the difference between the proposed and existing impermeable lot coverage, using the run-off coefficient for 100 year storm event. (Note: If the increase in impermeable lot coverage is less than 25%, additional storm water detention volume is <u>not</u> required.)	<i>Applies to 191 Fuller Lane</i> <i>Based upon preliminary review of information to date, it appears that 191 Fuller Lane <u>would not</u> have to provide additional storm water detention volume. However, a final determination will be made by Village Engineering staff.</i>

ATTACHMENT C

Village of Winnetka
ZONING VARIATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 20-02-V

Property Information

Site Address: 191 Fuller Lane

Owner Information

Name: William and Beth Cadigan

Address: 191 Fuller Lane

City, State, ZIP: Winnetka, IL 60091

Email: [REDACTED]

Primary Contract: Beth Cadigan

Phone No. [REDACTED]

Date property acquired by owner: 2009

Architect Information

Name: Healy M. Rice

Primary Contact: Healy Rice

Address: 934 Elmwood Ave.

City, State, ZIP: Wilmette, IL 60091

Phone No. 847-853-0824

Email: healyrice@comcast.net

Attorney Information

Name: _____

Primary Contact: _____

Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Nature of any restrictions on property: none known

Brief explanation of variation(s) requested (attach separate sheet providing additional details): _____

Sideyard setback and FAR variation requests to demolish and rebuild the attached garage, add small mudroom to rear of garage.

Property Owner Signature

[REDACTED SIGNATURE]

Date: 12/2/19

Beth and Bill Cadigan
191 Fuller Lane
Winnetka, Illinois 60093

Request for Variation

Our home, 191 Fuller Lane, is located on the east side of Fuller Lane between Winnetka Avenue and Sheridan Road. We are seeking a 2.00' side yard setback and 158.79 (6.64%) square foot floor area variation in order to construct a new garage and mudroom on the north side of our home. All remaining setbacks, lot coverage and impervious surface requirements are compliant with required.

We seek this variation due to unique circumstances, practical difficulty and hardship for the following reasons. Our lot is small, 5977.14 sf, and as such garage options are very limited. There is also a 10' utility easement at the east side of the lot, which would restrict us from building a detached garage in the rear of our lot. While this could provide a conforming option for us (only if permitted to build in the easement), it would also significantly increase our impervious surface coverage and eat up a large portion of our modest back yard. We feel keeping it attached to the house makes the most sense if we can expand the footprint to make it a functioning garage. Lastly, Fuller Lane has limited street parking due to its proximity to New Trier, so parking on Fuller is not really a viable option either.

We wish to demolish the existing garage and build a new one that would satisfactorily hold a car and basic storage, and also add a mudroom at the rear of the new garage with stairs to provide access into our house. The garage is in poor shape with a flat roof that leaks, and deteriorating double width brick perimeter walls that have no insulation. The current interior dimensions are +/- 10.0' x 18.36'; as such it is exceptionally small and barely able to house one car, much less any additional typical yard equipment, bicycles, etc. that would typically be stored inside. Because we cannot really park inside, we use the current space for storage and park our cars on our driveway. We are proposing to widen the garage by 2.0' in order to be able to pull in one car and open the doors. The new garage would also be longer, 20.0' inside, to allow for some storage beyond a car, as well as access to the proposed mudroom.

The proposed width triggers the side yard setback. The existing garage is original to the house, and built at the 6.0' setback at its closest point. We wish to widen the garage by 2.0' to make it functional for vehicle storage. It would be slightly forward (west) of the existing west wall, as there are windows in our powder room and basement that we wish to preserve and second floor windows we don't want to impact.

The first floor is very efficient but has no storage space and no ability to steal space out of any other area to widen the garage or create a mudroom. There is no mudroom, not even a coat closet, and all existing room sizes are modest. Having lived in the house for 10 years, we have gotten very creative with moving things around to accommodate our needs, but the mudroom addition would solve two areas critically lacking: practical, everyday storage and access to the house from the garage. We wish to build a mudroom to provide desperately needed storage for a typical family: coats, boots and shoes, sports equipment, cleaning supplies, etc. This new space would also provide the link from the garage into the house. Because the first floor level is 5 steps above grade, we need to build conforming stairs to get from the garage level up to the first floor. The 158.79 square feet we seek would solve these shortcomings with a small (6.64%) increase to the permitted FAR. If the garage were detached or in the rear of the house, we would not need this request at all, but neither of those choices really work in our situation.

The only homes affected by the variation are our neighbors to the north and east. To the east, the home faces Sheridan Rd., and we are more than 60' away from the back of their house. To the north, we would still maintain a separation of more than 12' between their house and ours, satisfying the intent of the 6' setback ordinance. Fuller Lane curves to the east and their house angles away from us as the street turns, opening up the space between. Our new garage will be in basically the same location as the existing garage and as such any impact to the neighborhood is minimal.

The proposed variation does not alter the essential character of the neighborhood and will be consistent with the goals, objectives, and policies established in the zoning ordinance. The proposed variation will not impair an adequate supply of light and air to the adjacent properties, will not injure other property and its use, will not substantially increase the danger of fire or otherwise endanger public health, safety and welfare, and will not substantially diminish or impair property values within the neighborhood.

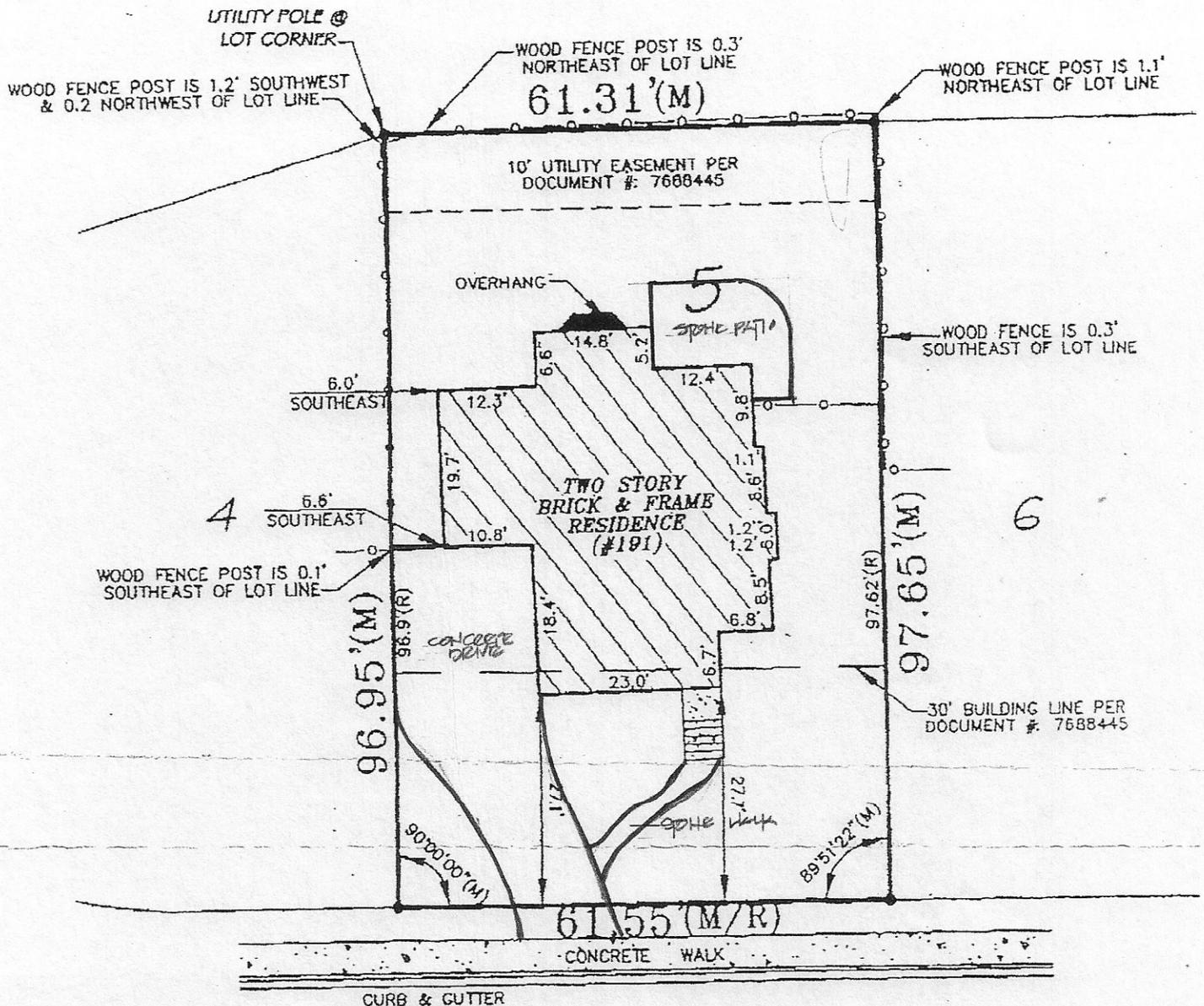
Thank you for your consideration.

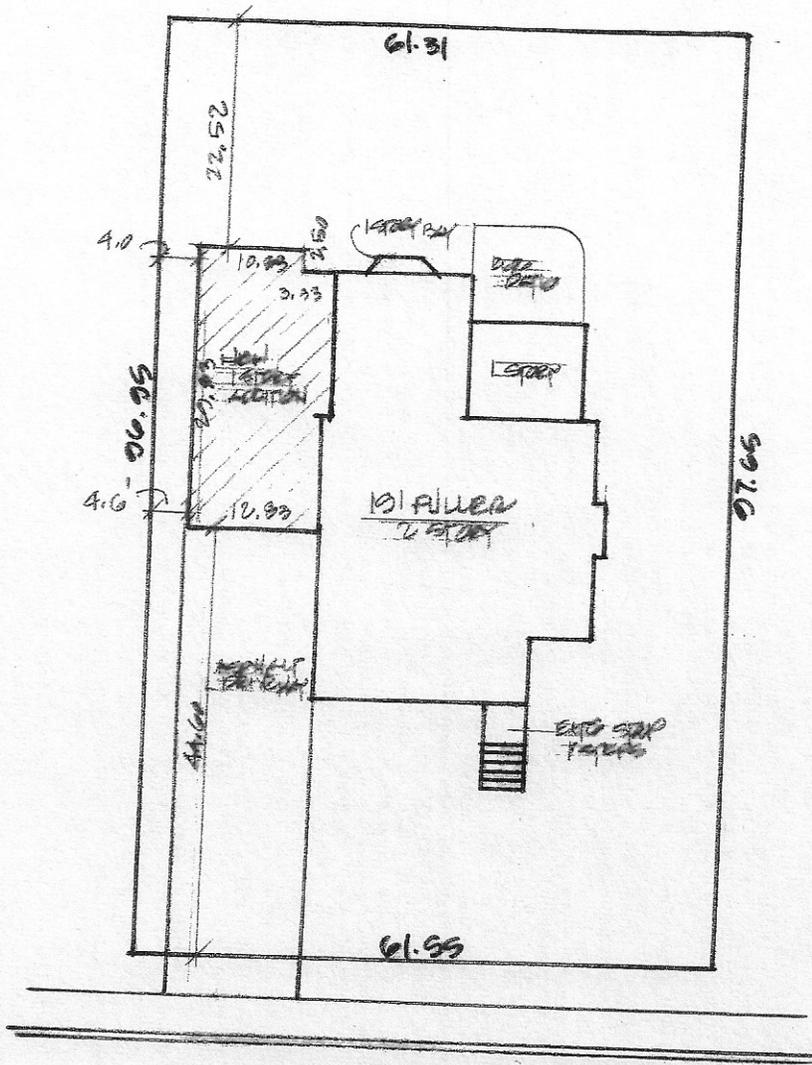
08-04092

PLAT OF SURVEY

OF

5 IN ORTH'S SUBDIVISION OF PART OF THE SOUTHEAST FRACTIONAL 1/4 OF FRACTIONAL SECTION 21, T. 14 N., R. 13 E. OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 7276951, IN COOK COUNTY, ILLINOIS.





FULLER LANE

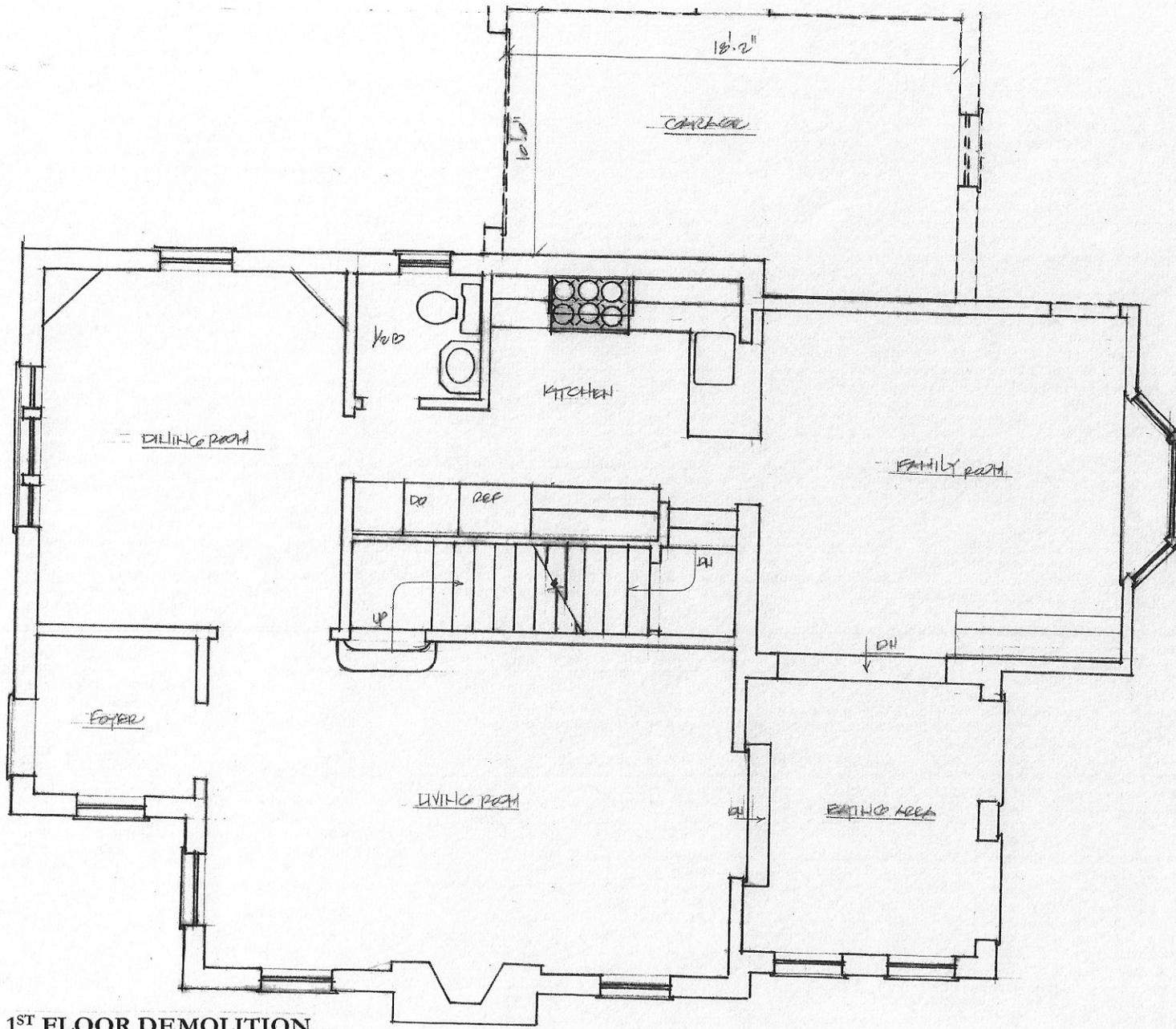
SITE PLAN

1' = 20'-0"



CADIGAN RESIDENCE
 191 FULLER LANE
 WINNETKA, IL 60093

HEALY M. RICE, P.C.
 934 ELMWOOD AVE.
 WILMETTE, IL 60091
 847-853-0824
 healyrice@comcast.net

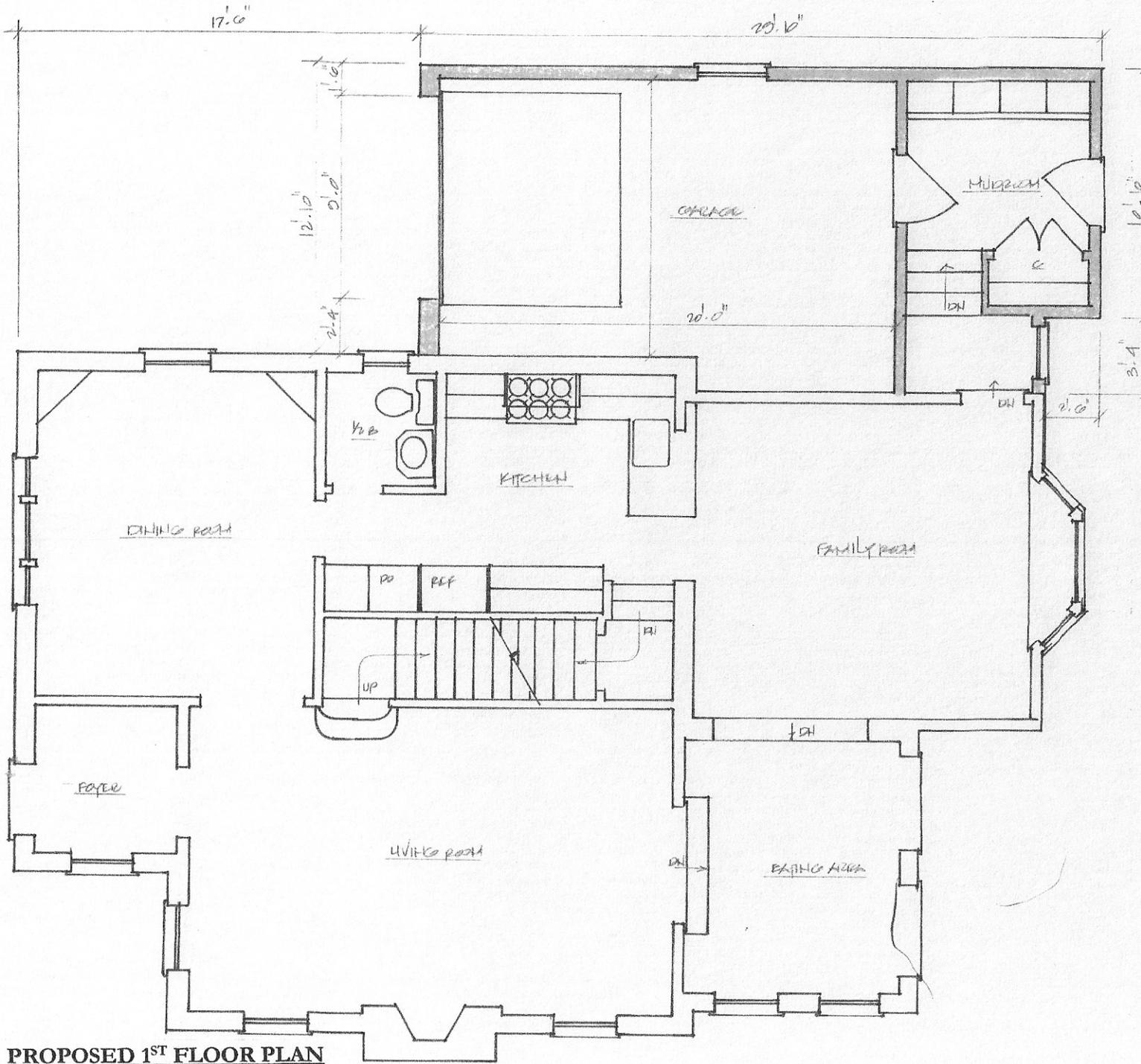


1ST FLOOR DEMOLITION

CADIGAN RESIDENCE
 191 FULLER LANE
 WINNETKA, IL 60093

HEALY M. RICE, P.C.
 934 ELMWOOD AVE.
 WILMETTE, IL 60091
 847-853-0824
 healyrice@comcast.net

DATE 1 DEC 19



PROPOSED 1ST FLOOR PLAN

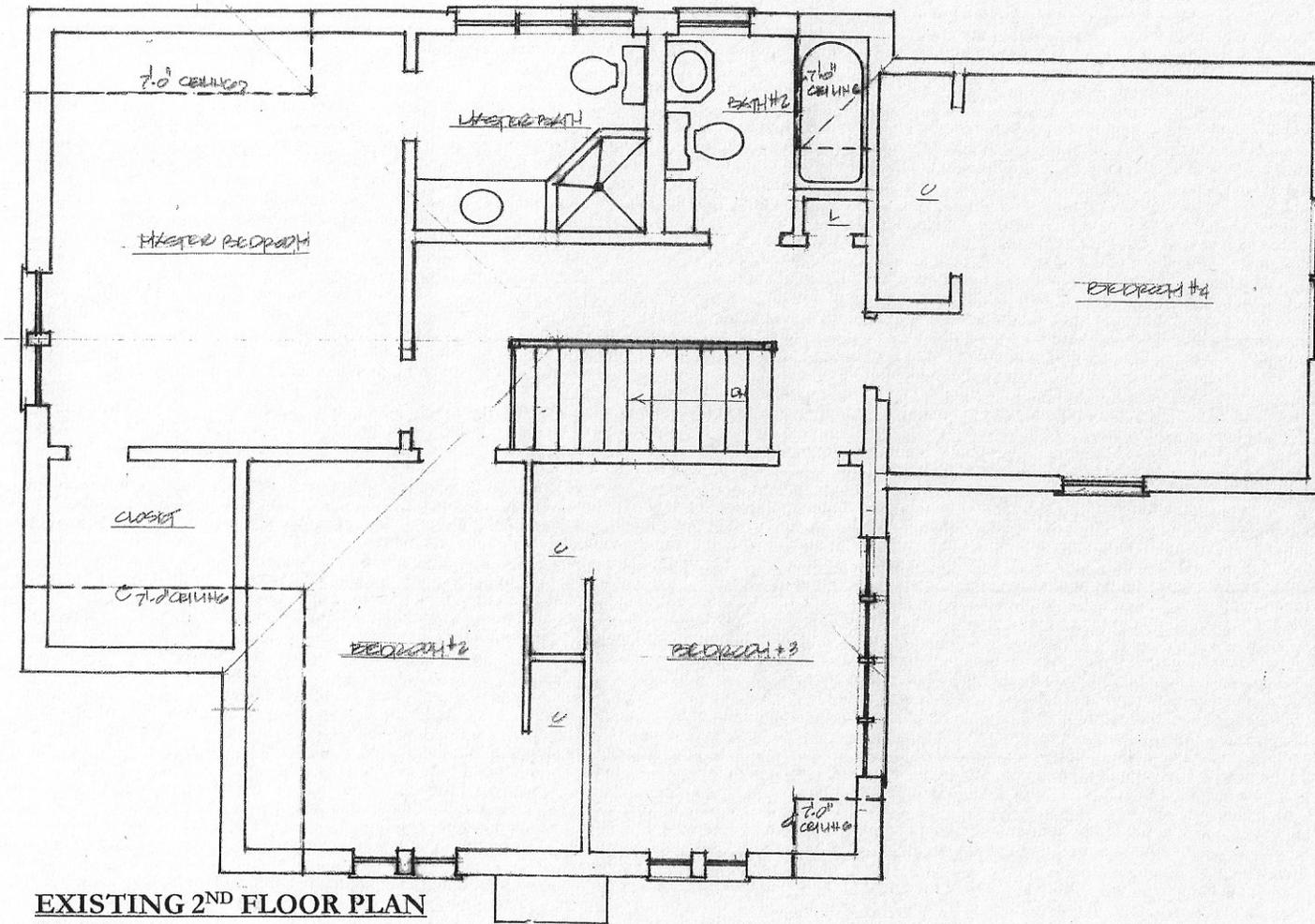
1/4" = 1'-0"

NEW CONSTRUCTION

CADIGAN RESIDENCE
 191 FULLER LANE
 WINNETKA, IL 60093

HEALY M. RICE, P.C.
 934 ELMWOOD AVE.
 WILMETTE, IL 60091
 847-853-0824

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EXISTING 2ND FLOOR PLAN

1/4" = 1'-0"

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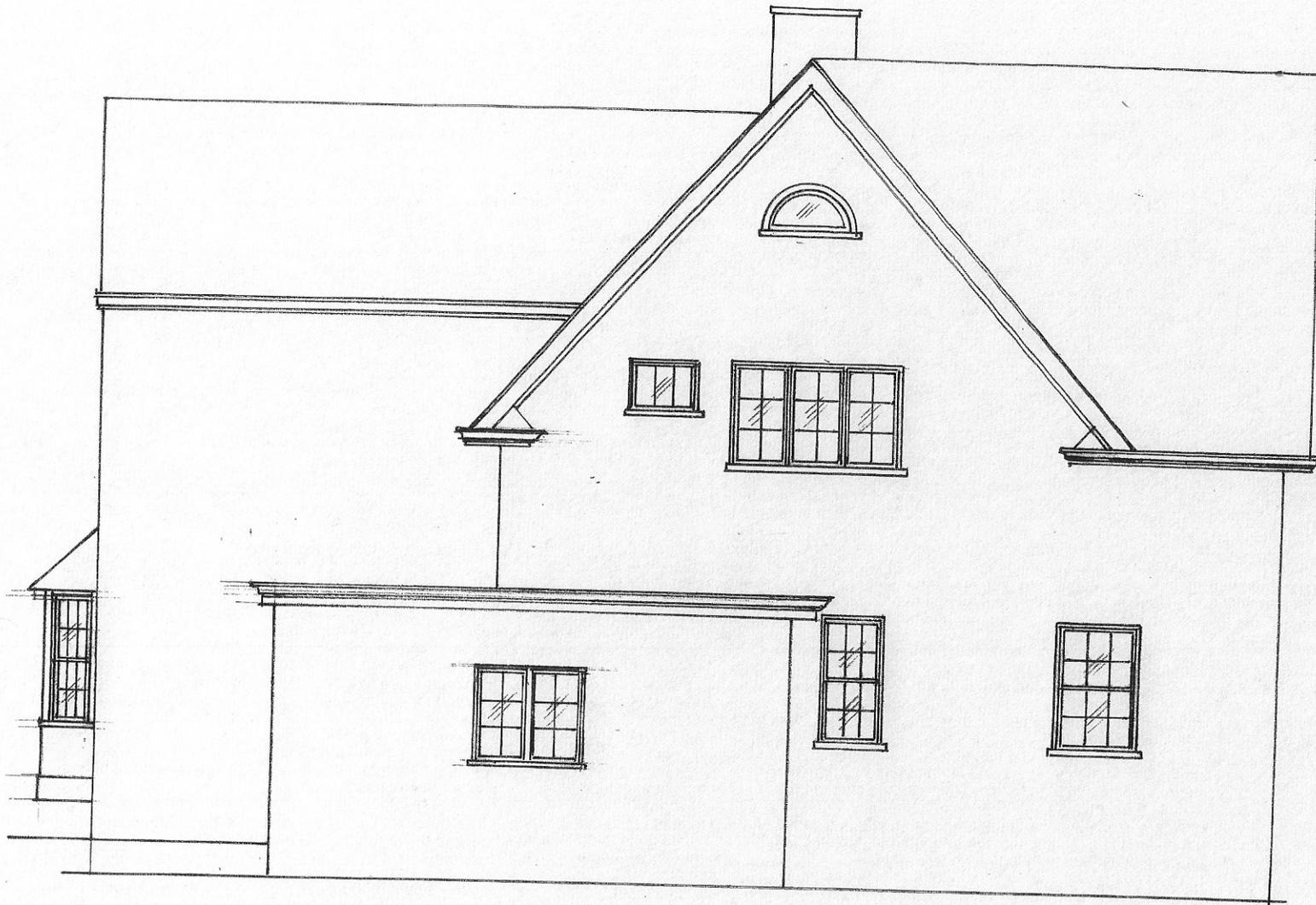
EXISTING WEST ELEVATION

1/4" = 1'-0"

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EXISTING NORTH ELEVATION

1/4" = 1'-0"

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EXISTING EAST ELEVATION

1/4" = 1'-0"

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PROPOSED WEST ELEVATION

1/4" = 1'-0"

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DATE 1 DEC 19

**AN ORDINANCE GRANTING A VARIATION IN
THE APPLICATION OF THE ZONING ORDINANCE
OF THE VILLAGE OF WINNETKA
COOK COUNTY, ILLINOIS**

WHEREAS, there has been presented to the Council of the Village of Winnetka, Cook County, Illinois, the request of the owner of the following described real estate:

Lot 5 in Orth's Subdivision of part of the Southeast fractional Section 21, Township 42 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois, according to the plat thereof recorded September 24, 1921 as Document 7276951;

commonly known as 191 Fuller Lane, Winnetka, Illinois, and located in the "A-1" (One-Sixth Acre) Single-Family Residential Zoning District provided in the Zoning Ordinance of said Village, for a variation from the Maximum Building Size (Gross Floor Area) provisions of Section 22.05 of the Winnetka Zoning Ordinance, Chapter 22, Winnetka Village Code, from 2,394.54 square feet to 2,491.82 square feet resulting in a variation of 97.28 square feet, to permit the construction of a cantilevered bay window measuring 13 square feet at the rear of the single-family residence on the subject property, in accordance with the plans accompanying the application for variation; and,

WHEREAS, there are unique circumstances and practical difficulties associated with carrying out the strict application of the Zoning Ordinance with respect to these premises in that the addition of the bay window is the completion of work undertaken by

a prior owner before the reduction of the allowable floor area in 1991, which rendered the residence nonconforming in its current state; and,

WHEREAS, the requested variation will not alter the essential character of the locality because the degree of variation necessary for the proposed bay window is 13 square feet, which is minimal, and its rear yard location is unobtrusive; and

WHEREAS, said proposed construction will not impair an adequate supply of light and air to adjacent property; will not increase the hazard from fire and other dangers to said property; will not increase congestion on the public streets; and will not otherwise impair the public health, safety, comfort, morals, and welfare of the inhabitants of the Village; and,

WHEREAS, the proposed construction will not diminish the taxable value of land and buildings throughout the Village, as this improvement will enhance the value of the subject property; and

WHEREAS, the Zoning Board of Appeals has conducted a public hearing on said requested variation on April 11, 1994, on due notice thereof, and has reported to the Council unanimously recommending that the requested variation be granted;

NOW, THEREFORE, the Council of the Village of Winnetka do ordain:

SECTION 1: That a variation from the Maximum Building Size requirement of the Zoning Ordinance adopted by the Village of Winnetka, Cook County, Illinois, and now in effect, is granted with respect to the above-described real estate, which is located in the

"A-1" (One-Sixth Acre) Single-Family Residential District provided in said Zoning Ordinance and is commonly known as 191 Fuller Lane, from the Maximum Building Size (Gross Floor Area) provisions of Section 22.05 of the Winnetka Zoning Ordinance, Chapter 22, Winnetka Village Code, from 2,394.54 square feet to 2,491.82 square feet, resulting in a variation of 97.28 square feet, to permit the construction of a cantilevered bay window measuring 13 square feet at the rear of the single-family residence on the subject property, in accordance with the application and plans submitted with the application for said variation.

SECTION 2: That the variation hereby granted is conditioned upon the commencement of the proposed construction within 12 months after the effective date of this Ordinance.

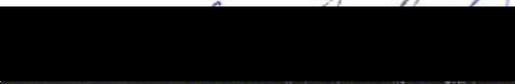
SECTION 3: That this Ordinance shall be in full force and effect from and after its passage, approval, and posting.

PASSED and approved this 7 day of June, 1994.

AYES: 6

NAYS: 0

ABSENT; 0

Signed: 
Village President

Countersigned:

Village Clerk

Read, Ordered, Engrossed and Posted May 17, 1994

Posted _____ May 18, 1994
Passed and Approved _____ June 7, 1994
Posted _____ June 8, 1994

ATTACHMENT E
Patrick and Stephanie Heraty
[REDACTED] Fuller Lane
Winnetka, IL 60093



December 18, 2019

VIA HAND DELIVERY

Ann Klaassen, Senior Planner
Village of Winnetka Community Development
510 Green Bay Road
Winnetka, IL 60093

Re: William and Elizabeth Cadigan
191 Fuller Lane, Winnetka, IL
Request for Variance

Dear Ms. Klaasen:

We live at next door to Bill and Beth Cadigan on Fuller Lane. This letter serves as an expression of our wholehearted support for their request for a variance from Village regulations in order to complete a renovation of their garage.

Thank you for your consideration of our support as the Village reviews the Cadigan's request for the variance.

Respectfully Submitted,

Patrick and Stephanie Heraty



ATTACHMENT F
RESOLUTION NO. ZBA-1-2020
VILLAGE OF WINNETKA
ZONING BOARD OF APPEALS
APPROVAL OF ZBA CASE NO. 20-02-V – 191 FULLER LANE

WHEREAS, William and Beth Cadigan (collectively, the “Applicant”) are the owners of the property commonly known as 191 Fuller Lane, Winnetka, Illinois, and legally described in **Exhibit A** attached to and, by this reference, made part of this Resolution (**“Subject Property”**); and

WHEREAS, the Subject Property is located in the R-5 Single Family Residential District; and

WHEREAS, the Subject Property is improved with a single family residence that is nonconforming with respect to (i) the front yard setback and (ii) the side yard setback requirements (**“Building”**); and

WHEREAS, the Applicant desires to construct on the Subject Property a one-story attached garage and mudroom addition to the Building with a net increase of approximately 172 square feet located in the minimum required side yard of the Subject Property (**“Proposed Improvement”**); and

WHEREAS, pursuant to Section 17.30.040 of the Winnetka Zoning Ordinance (**“Zoning Ordinance”**), the Subject Property is permitted a maximum building size of 2,390.8 square feet; and

WHEREAS, pursuant to Section 17.30.060 of the Zoning Ordinance, the Subject Property is required to provide a minimum side yard setback of at least 6.12 feet; and

WHEREAS, the Applicant desires to construct the Proposed Improvement on the Subject Property with (i) a maximum building size that exceeds the maximum permitted 2,390.8 square feet, a violation of Section 17.30.040 of the Zoning Ordinance and (ii) a side yard setback less than the required 6.12 feet, a violation of Section 17.30.060 of the Zoning Ordinance; and

WHEREAS, the Applicant filed an application for variations from Sections 17.30.040 and 17.30.060 of the Zoning Ordinance to permit construction of the Proposed Improvement on the Subject Property (i) with a maximum building size of 2,547.31 square feet and (ii) a side yard setback of 4 feet from the north property line to accommodate the addition (**“Requested Variations”**); and

WHEREAS, a public notice for the Requested Variations was duly published on December 26, 2019 in the “Winnetka Current” and notice was mailed to the owners of record of all properties within 250 feet of the Subject Property as required by the Zoning Ordinance; and

WHEREAS, a public hearing was held by the Winnetka Zoning Board of Appeals during a meeting held on January 13, 2020 for the purpose of considering the Requested Variations with the final decision being rendered at the Zoning Board of Appeal’s Regular Meeting on January 13, 2020; and

WHEREAS, the Zoning Board of Appeals has considered the evidence presented, as follows:

1. Application for the Requested Variations submitted by the Applicant, dated December 2, 2019, including all attachments as well as all subsequent additions and revisions to these application materials and attachments; and
2. All written and oral testimony concerning the Requested Variation.

WHEREAS, the Zoning Board of Appeals has determined that the Requested Variations do satisfy the standards for a variation provided in Sections 17.60.040 and 17.60.050 of the Winnetka Zoning Ordinance; and

WHEREAS, the Zoning Board of Appeals has determined that the requested variations to provide (i) more than the maximum permitted building size and (ii) less than the minimum required side yard setback do satisfy the standards for variations provided in Sections 17.60.040 and 17.60.050 of the Winnetka Zoning Ordinance; and

WHEREAS, the Zoning Board of Appeals has determined that it will serve and be in the best interest of the Village and its residents to grant the application for the (i) maximum building size variation and (ii) side yard setback variation, in accordance with, and subject to, the conditions, restrictions, and provisions of this Resolution;

NOW, THEREFORE, BE IT RESOLVED, by the Zoning Board of Appeals of the Village of Winnetka, Cook County, Illinois, that:

SECTION 1. RECITALS. The foregoing recitals are incorporated into, and made part of, this Resolution as the findings of the Zoning Board of Appeals.

SECTION 2. APPROVAL OF VARIATION. Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section Three of this Resolution, the requested (i) maximum building size variation from Section 17.30.040 of the Zoning Ordinance and (ii) side yard setback variation from Section 17.30.060 of the Zoning Ordinance to permit the construction of the proposed addition on the Subject Property is hereby granted, in accordance with and pursuant to Chapter 17.60 of the Zoning Ordinance and the home rule powers of the Village.

SECTION 3. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Winnetka Zoning Ordinance or any other rights the Applicant may have, the approval granted in Section Two of this Resolution is hereby expressly subject to and contingent upon compliance with each and all of the following conditions:

- A. Compliance with Plans. Except for minor changes and site work approved by the Director of Community Development in accordance with all applicable Village standards, the development, use, operation, and maintenance of the Subject Property, shall comply with those certain plans attached hereto as **Exhibit B**.
- B. Compliance with Regulations. The construction, development, use, operation, and maintenance of the Proposed Improvement and the Subject Property must comply with all applicable Village codes and ordinances, as the same may be amended from time to time, except to the extent specifically provided otherwise in this Resolution.

SECTION 4. RECORDING; BINDING EFFECT. A copy of this Resolution will be recorded in the

office of the Cook County Recorder of Deeds. This Resolution and the privileges, obligations, and provisions contained herein will inure solely to the benefit of, and be binding upon, the Applicant and their respective heirs, personal representatives, successors and assigns.

SECTION 5. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Resolution, the approval granted in Section Two of this Resolution will, at the sole discretion of the Zoning Board of Appeals, by Resolution duly adopted, be revoked and become null and void; provided, however, that the Zoning Board of Appeals may not so revoke the approval granted in Section Two of this Resolution unless it first provides the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Zoning Board of Appeals. In the event of revocation, the development and use of the Subject Property will be governed solely by the applicable regulations of the Winnetka Zoning Ordinance, including, without limitation, (i) the maximum building size requirement set forth in Section 17.30.040 of the Winnetka Zoning Ordinance and (ii) the side yard setback requirement set forth in Section 17.30.060 of the Winnetka Zoning Ordinance. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 6. AMENDMENTS. Any amendments to the Requested Variations granted in Section Two of this Resolution may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Winnetka Zoning Ordinance.

SECTION 7. EFFECTIVE DATE.

A. This Resolution will be effective only upon the occurrence of all of the following events:

1. Passage by the Zoning Board of Appeals in the manner required by law; and
2. The filing by the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit C** attached to and, by this reference, made a part of this Resolution, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Resolution and to indemnify the Village for any claims that may arise in connection with the approval of this Resolution.

B. In the event that the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 7.A.2 of this Resolution, within 30 days after the date of final passage of this Resolution by the Zoning Board of Appeals, the Zoning Board of Appeals will have the right, in its sole discretion, to declare this Resolution null and void and of no force or effect.

[SIGNATURE PAGE FOLLOWS]

ADOPTED this 13th day of January, 2020, pursuant to the following roll call vote:

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

Signed:

Matthew Bradley, Chairperson

Countersigned:

Village Clerk

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

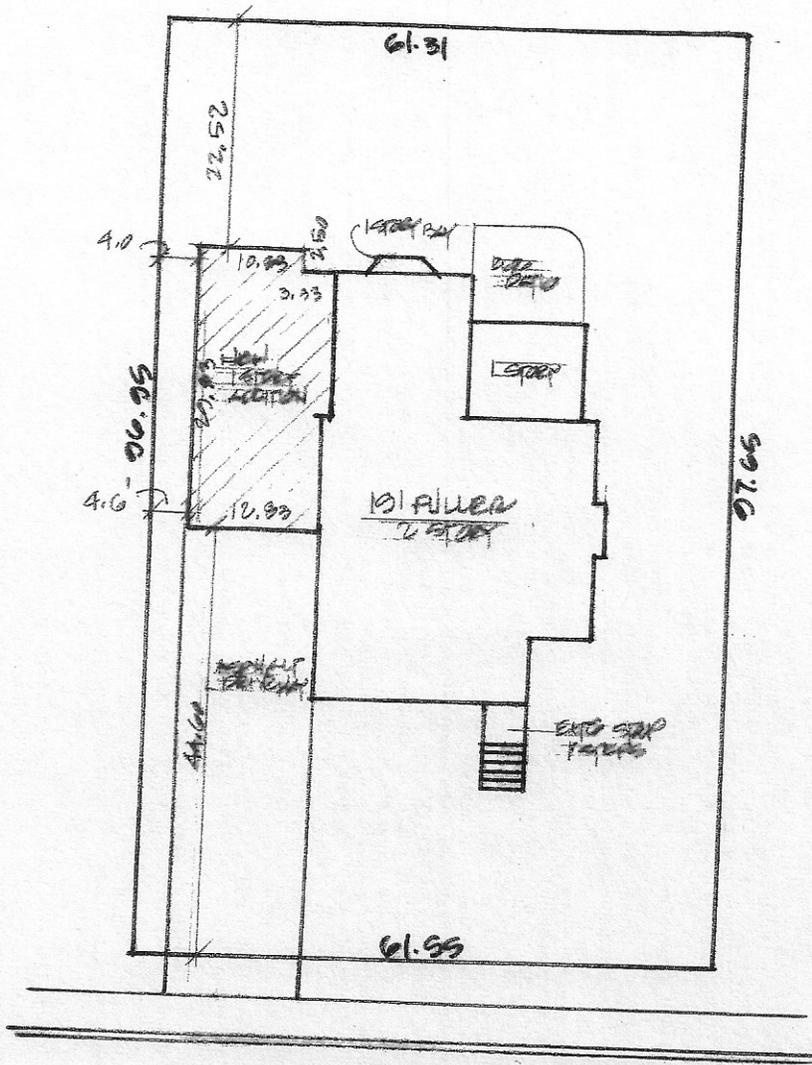
Lot 5 in Orth's Subdivision of part of the Southeast fractional ¼ of fractional Section 21, Township 42 North, Range 13 East of the Third Principal Meridian, according to the Plat thereof recorded September 24, 1921 as Document Number 7276951, in Cook County, Illinois.

Commonly known as 191 Fuller Lane, Winnetka, Illinois.

Parcel Index Number: 05-21-418-002-0000

EXHIBIT B
PLANS
(SEE ATTACHED EXHIBIT B)

EXHIBIT B



FULLER LANE

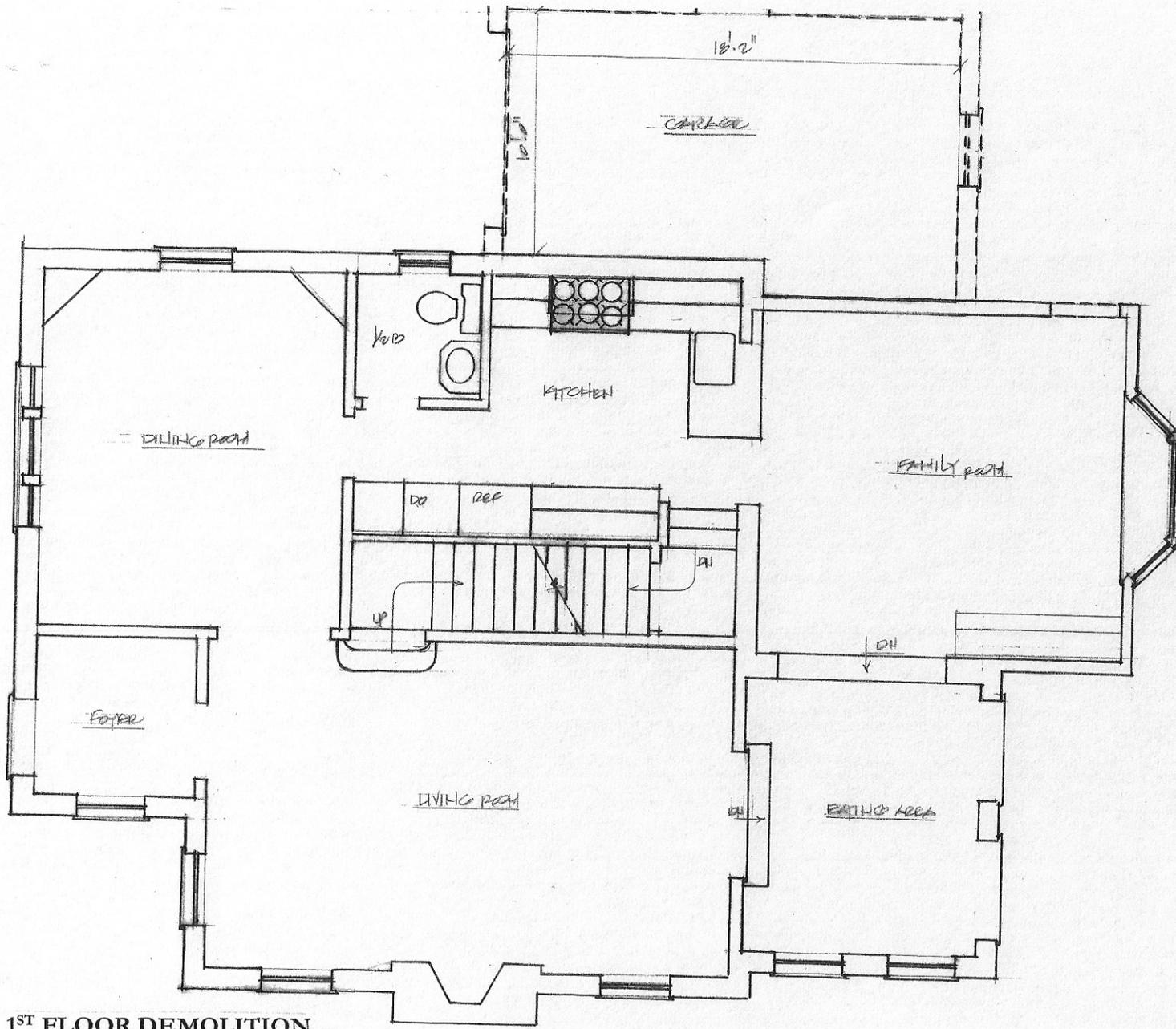
SITE PLAN

1' = 20'-0"



CADIGAN RESIDENCE
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WINNETKA, IL 60093

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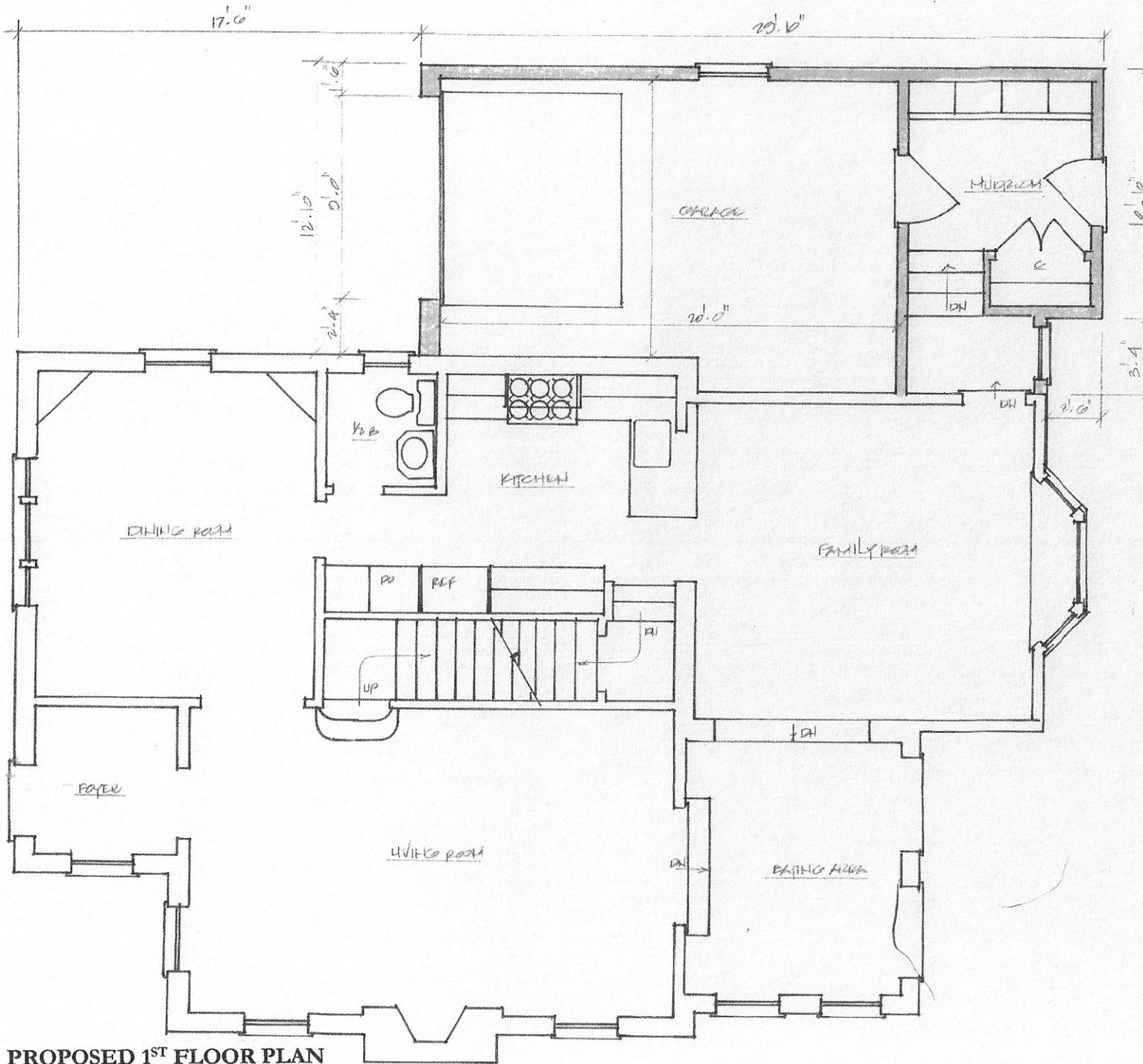


1ST FLOOR DEMOLITION

CADIGAN RESIDENCE
 191 FULLER LANE
 WINNETKA, IL 60093

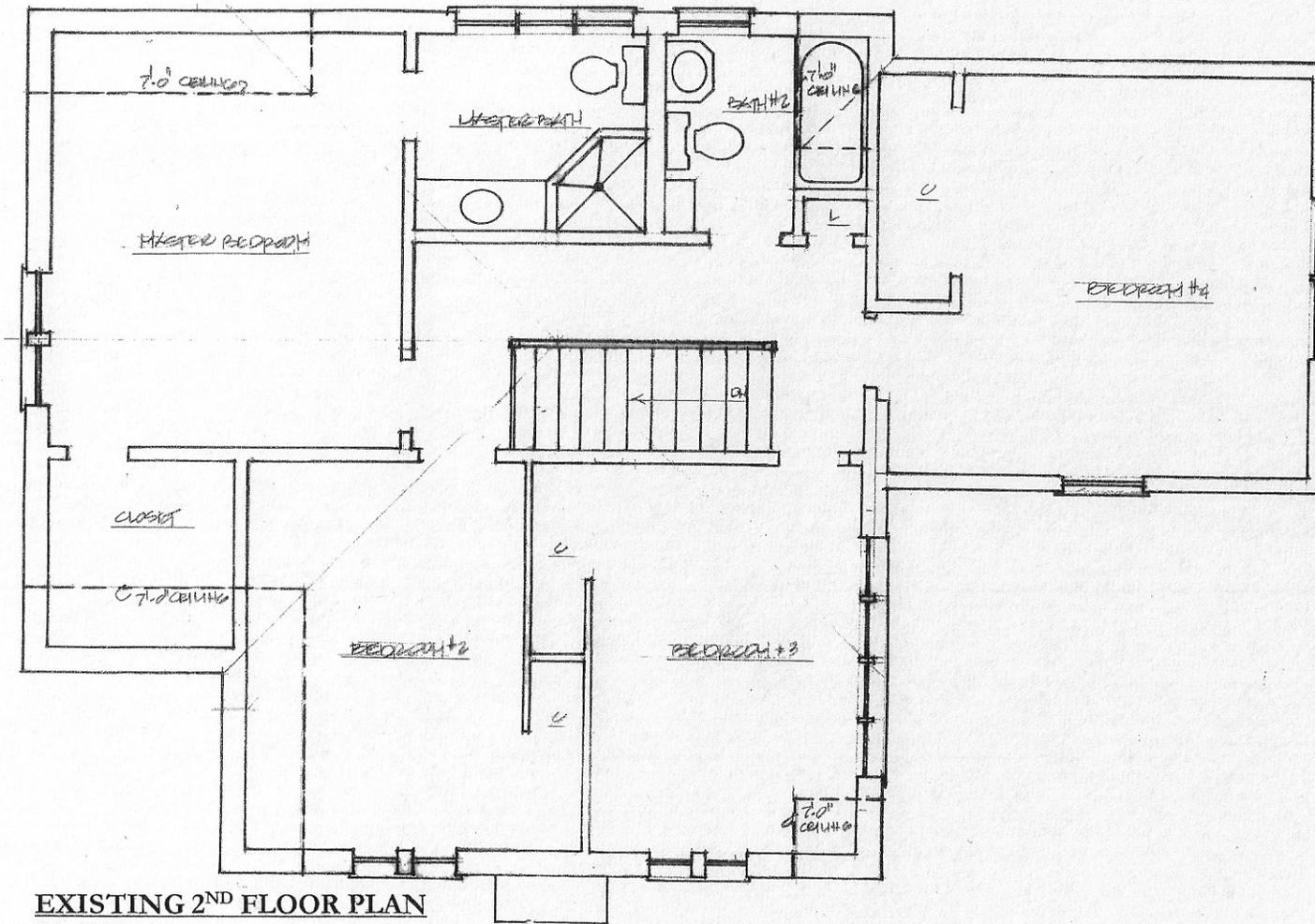
HEALY M. RICE, P.C.
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DATE 1 DEC 19



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EXISTING 2ND FLOOR PLAN

1/4" = 1'-0"

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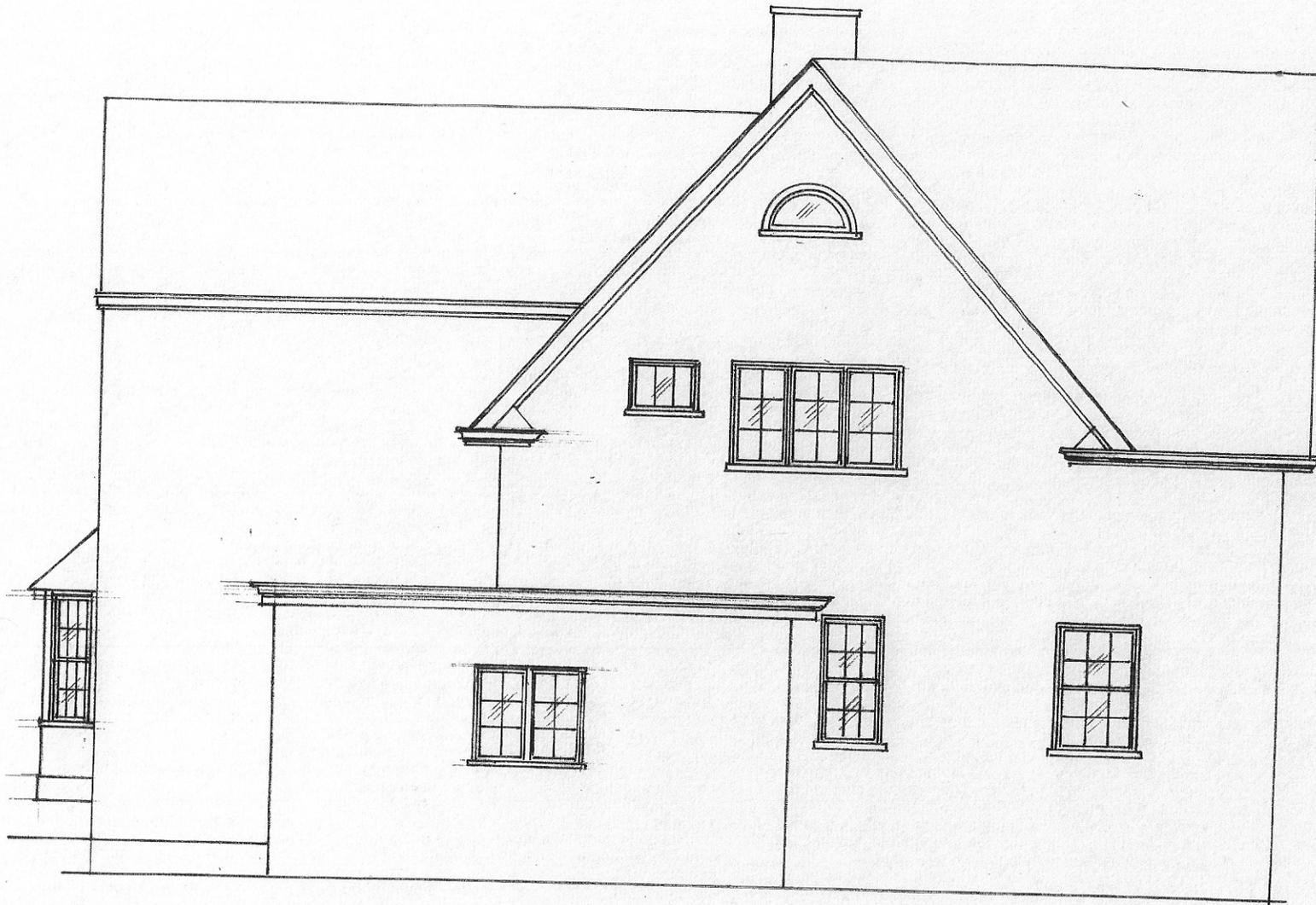
EXISTING WEST ELEVATION

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EXISTING EAST ELEVATION

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PROPOSED WEST ELEVATION

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DATE 1 DEC 19

EXHIBIT C

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Winnetka, Illinois ("**Village**");

WHEREAS, William and Beth Cadigan (collectively, "**Owners**") are the owners of record of that certain real property located at 191 Fuller Lane, Winnetka, Illinois ("**Property**"); and

WHEREAS, Resolution No. ZBA-1-2020, adopted by the Winnetka Zoning Board of Appeals on January 13, 2020 ("**Resolution**"), grants variations to construct an addition in the north side yard on the Subject Property; and

WHEREAS, Section 7.A.2 of the Resolution provides, among other things, that the Resolution will be of no force or effect unless and until the Owners have filed, within 30 days following the passage of the Resolution, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Resolution;

NOW, THEREFORE, the Owners do hereby agree and covenant as follows:

1. The Owners hereby unconditionally agree to accept, consent to, and abide by each and all of the terms, conditions, limitations, restrictions, and provisions of the Resolution.

2. The Owners acknowledge that public notices and hearings have been properly given and held with respect to the adoption of the Resolution, have considered the possibility of the revocation provided for in the Resolution, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.

3. The Owners acknowledge and agree that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of the variations, and that the Village's approval of the variations does not, and will not, in any way, be deemed to insure the Owners against damage or injury of any kind and at any time.

4. The Owners hereby agree to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Resolution granting the variations for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated: _____, 2020.

ATTEST

By: _____

Name: _____

OWNERS

By: _____

Beth Cadigan

By: _____

William Cadigan

RESOLUTION NO. ZBA-1-2020
VILLAGE OF WINNETKA
ZONING BOARD OF APPEALS
DENIAL OF ZBA CASE NO. 20-02-V – 191 FULLER LANE

WHEREAS, William and Beth Cadigan (collectively, the “Applicant”) are the owners of the property commonly known as 191 Fuller Lane, Winnetka, Illinois, and legally described in **Exhibit A** attached to and, by this reference, made part of this Resolution (**“Subject Property”**); and

WHEREAS, the Subject Property is located in the R-5 Single Family Residential District; and

WHEREAS, the Subject Property is improved with a single family residence that is nonconforming with respect to (i) the front yard setback and (ii) the side yard setback requirements (**“Building”**); and

WHEREAS, the Applicant desires to construct on the Subject Property a one-story attached garage and mudroom addition to the Building with a net increase of approximately 172 square feet located in the minimum required side yard of the Subject Property (**“Proposed Improvement”**); and

WHEREAS, pursuant to Section 17.30.040 of the Winnetka Zoning Ordinance (**“Zoning Ordinance”**), the Subject Property is permitted a maximum building size of 2,390.8 square feet; and

WHEREAS, pursuant to Section 17.30.060 of the Zoning Ordinance, the Subject Property is required to provide a minimum side yard setback of at least 6.12 feet; and

WHEREAS, the Applicant desires to construct the Proposed Improvement on the Subject Property with (i) a maximum building size that exceeds the maximum permitted 2,390.8 square feet, a violation of Section 17.30.040 of the Zoning Ordinance and (ii) a side yard setback less than the required 6.12 feet, a violation of Section 17.30.060 of the Zoning Ordinance; and

WHEREAS, the Applicant filed an application for variations from Sections 17.30.040 and 17.30.060 of the Zoning Ordinance to permit construction of the Proposed Improvement on the Subject Property (i) with a maximum building size of 2,547.31 square feet and (ii) a side yard setback of 4 feet from the north property line to accommodate the addition (**“Requested Variations”**); and

WHEREAS, a public notice for the Requested Variations was duly published on December 26, 2019 in the “Winnetka Current” and notice was mailed to the owners of record of all properties within 250 feet of the Subject Property as required by the Zoning Ordinance; and

WHEREAS, a public hearing was held by the Winnetka Zoning Board of Appeals during a meeting held on January 13, 2020 for the purpose of considering the Requested Variations with the final decision being rendered at the Zoning Board of Appeal’s Regular Meeting on January 13, 2020; and

WHEREAS, the Zoning Board of Appeals has considered the evidence presented, as follows:

1. Application for the Requested Variations submitted by the Applicant, dated December 2, 2019, including all attachments as well as all subsequent additions and revisions to these application materials and attachments; and
2. All written and oral testimony concerning the Requested Variation.

WHEREAS, the Zoning Board of Appeals has determined that the Requested Variations **do not** satisfy the standards for a variation provided in Sections 17.60.040 and 17.60.050 of the Winnetka Zoning Ordinance because (i) the Requested Variations are not in harmony with the general purpose and intent of the Winnetka Zoning Ordinance; (ii) the Subject Property can yield a reasonable return if it is permitted to be used only under the conditions allowed for the R-5 Single Family Residential District; (iii) the plight of the Applicant is not due to unique circumstances; and

WHEREAS, the Zoning Board of Appeals has determined that it will not serve and be in the best interest of the Village and its residents to approve the Requested Variations;

NOW, THEREFORE, BE IT RESOLVED, by the Zoning Board of Appeals of the Village of Winnetka, Cook County, Illinois, that:

SECTION 1. RECITALS. The foregoing recitals are incorporated into, and made part of, this Resolution as the findings of the Zoning Board of Appeals.

SECTION 2. DENIAL OF VARIATION. In accordance with and pursuant to Chapter 17.60 of the Winnetka Zoning Ordinance and the home rule powers of the Village, the Zoning Board of Appeals denies the Requested Variations for the Subject Property.

SECTION 3. EFFECTIVE DATE. This Resolution will be effective upon passage by the Zoning Board of Appeals in the manner required by law.

ADOPTED this 13th day of January , 2020, pursuant to the following roll call vote:

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

Signed:

Matthew Bradley, Chairperson

Countersigned:

Village Clerk

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

Lot 5 in Orth's Subdivision of part of the Southeast fractional ¼ of fractional Section 21, Township 42 North, Range 13 East of the Third Principal Meridian, according to the Plat thereof recorded September 24, 1921 as Document Number 7276951, in Cook County, Illinois.

Commonly known as 191 Fuller Lane, Winnetka, Illinois.

Parcel Index Number: 05-21-418-002-0000