



DESIGN REVIEW BOARD/SIGN BOARD OF APPEALS REGULAR VIRTUAL MEETING AGENDA

THURSDAY, JULY 16, 2020 - 7:00 PM

In accordance with social distancing requirements, Governor Pritzker's Executive Orders 2020-43 and 2020-44, and Senate Bill 2135, the **Winnetka Design Review Board/Sign Board of Appeals meeting on Thursday, July 16, 2020 will be held virtually. The meeting will be livestreamed via the Cisco WebEx platform. In accordance, with Public Act 101-0640, at least one representative from the Village will be present at Village Hall, and the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location.** Pursuant to Executive Orders 2020-43 and 2020-44 issued by the Governor, the number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a "first-come, first-served" basis.**

The public has the following two options for **virtually observing and participating during this virtual Design Review Board/Sign Board of Appeals meeting, including the ability to provide testimony or comments.** Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

- 1) **Telephone (audio only).** Call: 408-418-9388; when prompted enter the Meeting ID – 126 999 4565 (Please note there is no additional password or attendee ID required.)
- 2) **Livestream (both audio and video feed).** Download the Cisco WebEx meetings app to your smart phone, tablet, or computer, and then join Meeting ID – 126 999 4565 Event Password – DRB07162020

If you wish to **provide testimony or comments prior to the meeting**, you may provide them one of three ways:

- 1) By sending an email to planning@winnetka.org;
- 2) By sending a **letter** to Community Development Department, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093, or
- 3) By leaving a **voice mail message** at the phone number 847-716-3524. All voicemail messages will be transcribed into a written format.

All comments received by 6:00 PM the day of the meeting will be read at the meeting by staff. Written public comment is limited to 200 words or less and should identify both (1) the subject of the comment being offered (such as property address or case number of the agenda item) and (2) the full name of the individual providing the comments. In addition, you may wish to include your street address, phone number, and the name of the organization or agency you represent, if applicable.

General comments for matters not on the agenda will be read at the end of the meeting under Public Comment. Comments specific to a particular agenda item will be read during the discussion of that agenda item.

All emails received will be acknowledged either during or after the meeting, depending on when they are received.

Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3587.

510 Green Bay Road, Winnetka, Illinois 60093
847-501-6000 • www.villageofwinnetka.org

**DESIGN REVIEW BOARD/SIGN BOARD OF APPEALS REGULAR VIRTUAL MEETING AGENDA
THURSDAY, JULY 16, 2020 - 7:00 PM**

AGENDA ITEMS

1. Call to Order & Roll Call.
2. Introductory Remarks Regarding Conduct of Virtual Meeting.
3. **Case No. 20-08-DR: 1003-5 Green Bay Road – Guanajuato Restaurant – Awning and Sign Permit:** Awning Permit and Sign Permit to allow the installation of two storefront awnings and signage listing on an existing directory sign on the Subject Property.
4. **Case No. 20-09-DR: 903 Green Bay Road – Engel & Völkers – Awning Permit:** Awning Permit to allow the installation of an awning at the entrance of the building.
5. **Case No. 19-15-PD: 688-694 Green Bay Road – The Walden – Preliminary Planned Development Review:** Certificate of Appropriateness to allow the construction of a new six-unit multi-family building as part of a planned development.
6. Other Business.
 - a. August 20, 2020 Meeting - Quorum check.
7. Public Comment.
8. Adjournment

Note: Public comment is permitted on all agenda items.

NOTICE

All agenda materials are available at www.villageofwinnetka.org/agendacenter.

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that all persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).

510 Green Bay Road, Winnetka, Illinois 60093
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MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: DESIGN REVIEW BOARD
FROM: CHRISTOPHER MARX, AICP, ASSOCIATE PLANNER
DATE: JULY 10, 2020
SUBJECT: CASE NO. 20-08-DR: 1003-5 GREEN BAY ROAD - GUANAJUATO CONTEMPORARY MEXICAN AND TEQUILA BAR - CONSIDERATION OF AWNING PERMIT AND SIGN PERMIT

INTRODUCTION

On July 16, 2020, the Design Review Board will conduct a virtual public hearing, in accordance with social distancing requirements, Governor Pritzker's Executive Orders and Senate Bill 2135, on applications submitted by Guanajuato Contemporary Mexican and Tequila Bar (the "Applicant"), as a tenant of the property at 1003-5 Green Bay Road (the "Subject Property"), to allow the installation of an awning and directory sign listing. The Applicant has submitted applications for the following:

1. Awning Permit application to allow the installation of an awning; and
2. Sign Permit application to allow the installation of identification signage on an existing directory sign for the Subject Property.

PROPERTY DESCRIPTION

The Subject Property is located on the east side of Green Bay Road between Merrill Street and Scott Avenue in the Hubbard Woods Business District. It is zoned C-2 General Retail Commercial and is located in the Commercial Overlay District. The Subject Property contains a one-story commercial building with several tenants including *Domino's Pizza*, *Grace Nail Salon*, and a *UPS Store*. The space was most recently occupied by *O'Neil's Restaurant*. The building is a typical mid-century commercial strip-mall building with a brick façade, red awnings, and minimal architectural accents. Figures 1 through 3 later in this report identify the Subject Property.

CURRENT REQUEST

The Applicant is proposing the installation of two awnings for its front facade and a sign listing on the existing directory sign for the Subject Property to provide identification for a new Mexican restaurant. The two awnings would be placed over the storefront windows with aluminum frames and a red canvas material. The awnings would project 4 feet from the building wall and be 2 feet in height, 17.33 feet and 17.08 feet in length, with 7-inch valance ribbons that read "Guanajuato Contemporary Mexican & Tequila Bar" in 6-inch white lettering. The awnings' material, color, and projection-above-grade would be set to match the neighboring awnings over *Domino's* and *Grace Nails* storefronts.

The existing directory sign would receive two panels that would identify the new business amongst the other commercial tenants with two panels that are each 2.35 square feet in size. The panels would read "Guanajuato" and "Contemporary Mexican & Tequila Bar" in a medium-blue font and some small flower

accents with a brief pronunciation respelling that reads “juan-a-wotto.” The panels would be on both sides of the directory sign and in the two listing spaces of the Subject Property’s previous tenant’s signage. The Applicant’s restaurant will occupy two of the five commercial spaces in the building, which are the same spaces previously occupied by “O’Neil’s Restaurant.” The Applicant has provided renderings of the proposed awnings and signage, which are included in the submitted application materials in Attachment A.

AWNING CODE ANALYSIS

Chapter 12.24 of the Village Code establishes standards for the installation of awnings located within the public right-of-way. The proposed awnings do not extend into the public right-of-way and will be installed to match the existing awnings of neighboring tenants.

SIGN CODE ANALYSIS

Awning copy is limited to the name of a business, street address number and logo, and is subject to a maximum height of six inches. The Sign Code also requires that the awning signage be placed on the valence. The proposed awning copy complies with the Sign Code.

Section 15.60.120 of the Village’s Sign Code states that a freestanding sign shall only display content of the business’ name, logo, trademark, and a maximum of three words describing the type of product or service. The Applicant states that “Guanajuato Contemporary Mexican & Tequila Bar” is the full name of the business and the “juan-a-wotto” descriptor is to communicate the pronunciation of part of the business name. The Sign Code also states that no individual listing on a freestanding directory sign may exceed 3 square feet in area. The two panels taken up by the Applicant would each be 2.35 square feet in area. The business will occupy the two storefront spaces occupied by the previous tenant and also utilize the same two spaces on the directory sign.

DESIGN GUIDELINES ANALYSIS

The Village’s Design Guidelines provide guidance on appropriate size, color, and location of signs. The existing freestanding sign is made of a black metal material with proposed panel listing additions that contain a white background with a common blue font stating the name of the restaurant with some minor accents and a one-word descriptor.

The Design Guidelines also provide guidance on the installation of awnings. The Guidelines recommend awnings be in conformity and proportionality for the building in which it serves. The awnings’ color should enhance and contribute to the building and surrounding neighborhood and are restricted to earth tones and primary colors and secondary colors. The proposed awnings’ height and color of red would match the other awnings on the building. An excerpt of the Design Guidelines pertaining to commercial signage and awnings is included as Attachment B.

SUMMARY

The Applicant requests that the DRB find the proposed awnings and directory sign listing as appropriate and compatible with the Design Guidelines and approve as proposed. Should the DRB approve the Awning and Sign Permits, the Applicant would first need to receive the permits from the Community Development Department.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Design Guidelines Excerpt



Figure 1 – Subject Property – Street frontage along Green Bay Road, behind pedestrian courtyard.



Figure 2 – Subject Property – Directory sign for proposed sign listing, along Green Bay Road.



Figure 3 – Subject Property – Frontage of neighboring businesses with existing awnings.

ATTACHMENT A

Village of Winnetka
AWNING PERMIT APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

AWNING PERMIT APPLICATION

Tenant/Lessee

Name of Business Tacos Guanajuato		Primary contact name	Phone No.
Street Address 1003-1005 Green Bay Road			
City Winnetka	State IL	Zip Code 60093	Email

Awning Company

Name of Awning Company Aurora Sign Company		Primary contact name Lynn Helberg	Phone No. (630) 898-5900
Street Address 1100 Route 34			
City Aurora	State IL	Zip Code 60503	Email LHelberg@AuroraSign.com

Property Owner

Name of Company MC Lennar Property management		Primary contact name Steve Schimmel	Phone No.
Street Address: 1003-1005 Green Bay Road			
City Winnetka	State IL	Zip Code	Email

Awning is retractable or rigid
 new awning or recovering of existing frame

Description of fabric type and color (attach samples) **Awning to match neighboring tenant "DOMINOS"**

Description of awning sign material, method of application and color: **Material to match neighboring tenant "DOMINOS"**

Height of awning logo/copy: **4 3/8" and 5 1/8"** inches
 Awning Dimensions: Width **17' 4"** Height **2' 7"** Projection from Building Face **4'**
 { **2' 11"** } **2' 7"**

OFFICE USE ONLY: PERMIT FEE (\$70 each) _____
CONDITIONS OF APPROVAL: _____

**VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT**

SIGN PERMIT APPLICATION

Tenant/Lessee

Name of Business: <i>Taco Guajajuto</i>		Primary contact name:	Phone:
Street Address: <i>1003-1005 Green Bay Road</i>		Fax:	
City <i>Winnetka</i>	State <i>IL</i>	Zip Code <i>60093</i>	Email:

Sign Company

Name of Sign Company: <i>Aurora Sign Company</i>		Primary contact name: <i>Lynn Helberg</i>	Phone: <i>(630) 898-5900</i>
Street Address: <i>1100 Route 34</i>		Fax: <i>(630) 898-6091</i>	
City <i>Aurora</i>	State <i>IL</i>	Zip Code <i>60503</i>	Email: <i>LHelberg@AuroraSign.com</i>

Property Owner

Name of Company: <i>McLennan Property Management</i>		Primary contact name: <i>Steve Schimmel</i>	Phone:
Street Address: <i>1003-1005 Green Bay Road</i>		Fax:	
City <i>Winnetka</i>	State <i>IL</i>	Zip Code <i>60093</i>	Email:

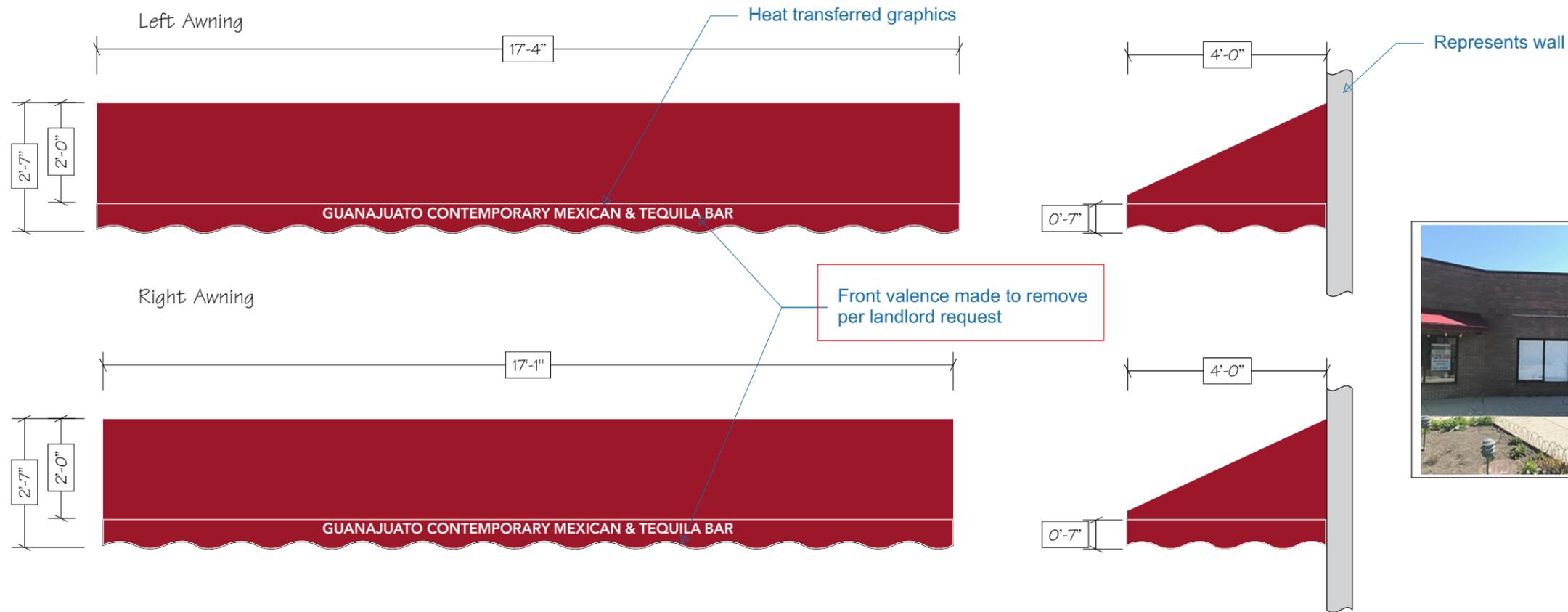
Sign type(s): window graphics wall-mounted sign ground-mounted sign
 (Check all that apply) projecting sign other *Awning*

Additional description of sign type and materials

Awning to match neighboring tenants "Domino's"

OFFICE USE ONLY	PERMIT FEE (\$60/\$195 per sign)
CONDITIONS OF APPROVAL: _____	

All Signs Shall Be Installed In Accordance With N.E.C. Article 600
 Engineering Specifications All Signs Fabricated as per A.S.A Specifications & 2014 I.B.C.
 Electrical Specifications All Signs Fabricated as per 2015 N.E.C. Specifications



AWNING WITH HEAT TRANSFERRED GRAPHICS 2 REQUIRED

PROVIDE AND INSTALL AWNING WITH HEAT TRANSFERRED GRAPHICS.
 NEW AWNINGS TO MATCH NEIGHBORING TENANTS (SEE PICTURE BELOW)
 AWNING TO INCLUDE WAVE CUT-OUT AND WHITE PIPING.
 "GUANAJUATO" LOGO TO BE CENTERED ON VALENCE AS SHOWN.
 SCALE 3/8"=1'

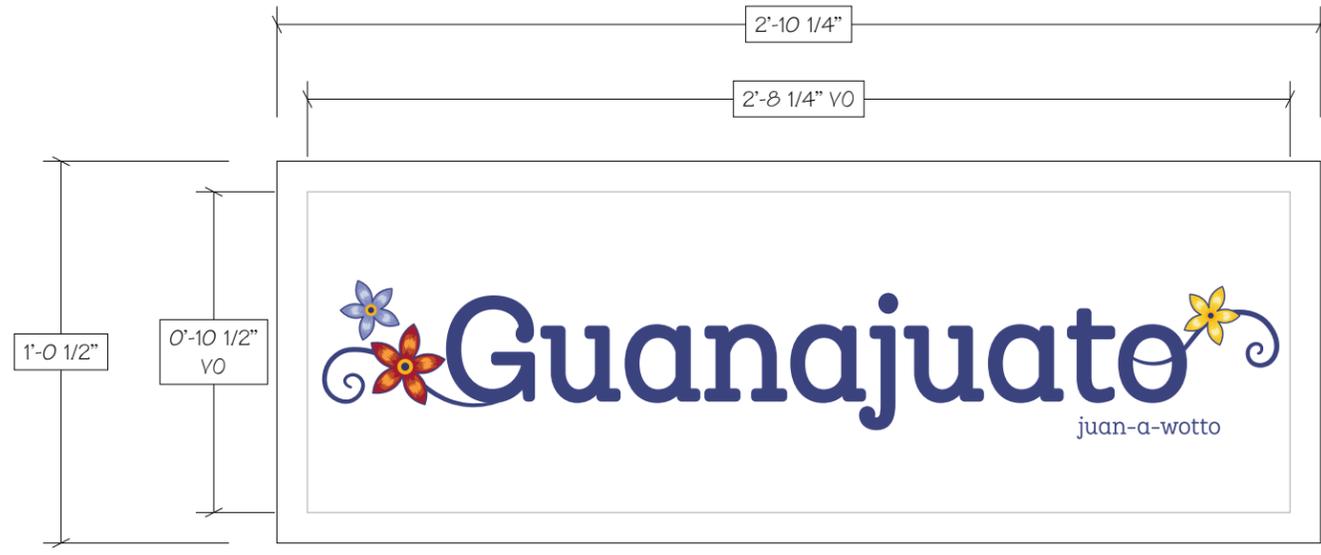
INSTALLATION INSTRUCTIONS
 ALIGN NEW AWNINGS WITH NEIGHBORING AWNINGS.
 CENTER NEW AWNINGS ABOVE DOOR AND WINDOWS AS SHOWN.



Computer generated colors are not a true match to any PMS, vinyl or paint.
 Rendering shown is for concept only. Actual scale and placement shown are approximate.

1100 Route 34 Aurora, Illinois 60503 JC 630 898 5900 office 630 898 6091 fax	Prepared For: TACOS GUANAJUATO	Address: 1003-1005 GREEN BAY ROAD	Drwg: 200487 Sheet: 7 Design Date: 6/9/20	LANDLORD APPROVAL SIGNATURE	TITLE:
	Location Name:	City/State: WINNETKA, IL	Rev 1: Rev 2:	PRINT	DATE: 903 Green Bay - DRB - Page 7

All Signs Shall Be Installed In Accordance With N.E.C. Article 600
 Engineering Specifications: All Signs Fabricated as per A.S.A Specifications & 2014 I.B.C.
 Electrical Specifications: All Signs Fabricated as per 2015 N.E.C. Specifications



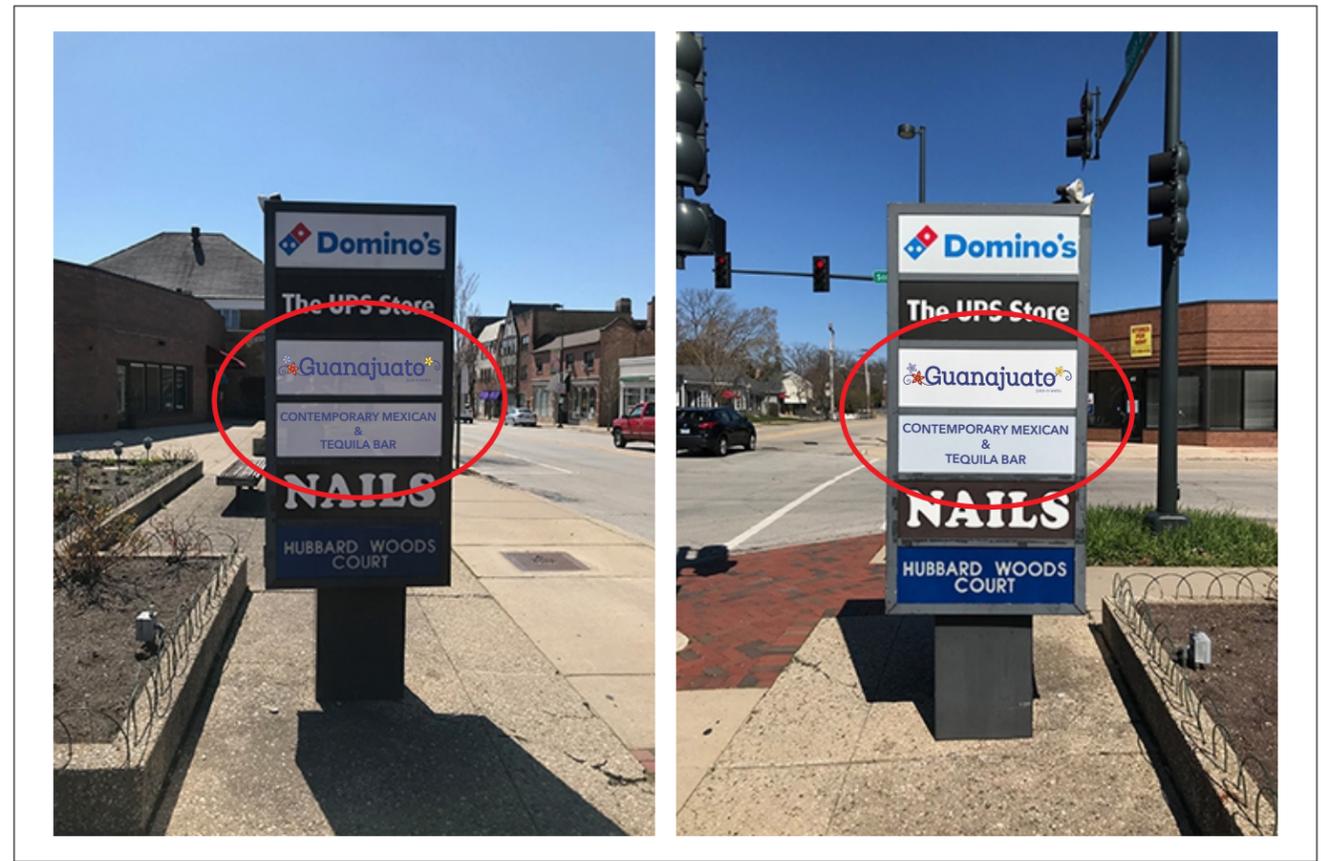
INSTALLATION INSTRUCTIONS

INSTALL NEW GRAPHICS ON EXISTING BLANK TENANT PANEL SHOWN.

TENANT GRAPHICS FOR 1 DOUBLE FACE SIGN (4 REQUIRED)

PROVIDE AND INSTALL GRAPHICS OF HIGH PERFORMANCE VINYL. VINYL TO BE APPLIED FIRST SURFACE ON EXISTING TENANT PANEL. SCALE 2"=1'

- Pantone 114 C
- Pantone 7427 C
- Pantone 5265 C



Computer generated colors are not a true match to any PMS, vinyl or paint. Rendering shown is for concept only. Actual scale and placement shown are approximate.

1100 Route 34 Aurora, Illinois 60503 JC 630 898 5900 office 630 898 6091 fax	Prepared For: TACOS GUANAJUATO	Address: 1003-1005 GREEN BAY ROAD	Drwg: 200487	Sheet: 2	Design Date: 4/30/20	LANDLORD APPROVAL SIGNATURE	TITLE:
	Location Name:	City/State: WINNETKA, IL	Rev 1:	Rev 2:	PRINT	DATE:	903 Green Bay - DRB - Page 8

d. Building Signage

Commercial signs should reflect the character of the building style, while expressing each store's individuality. There are several prominent sign styles that are appropriate to Winnetka: surface mounted, pin-mounted, interior, decal and projecting blade signs. Sign materials are limited to painted wood, canvas, architectural glass and metal. Sign color must harmonize with the building upon which it is mounted and adjacent structures. Background colors for the body of the sign are limited to earth tones and primary colors, whereas pastels, neon and secondary colors are not allowed. Lettering color can be unique to the image of the retailer/user. Metal sign and plaque material such as brushed bronze, antique bronze, aluminum, stainless steel and painted cast iron or similarly appearing materials are preferred. Highly reflective metallic signs are not allowed. Signs should be lit by marquee or spot lighting; neon lighting is not permitted. Spot lighting should be minimal and unobtrusive and, per the Village Code, the source of illumination shall not be visible from any street, sidewalk or dwelling. Simplified industrial light fixtures are not permitted. Contextual solutions are recommended. The majority of the signs will be mounted within the building's sign band, defined as the wall area located above the ground floor storefront opening and below the second floor windowsill, and is located a minimum of 8'-0" above grade and a maximum of 15'-0" above grade.

Signs must comply with the general provisions of the Winnetka Sign Ordinance as well as design provisions contained within these Design Guidelines.

1. Surface mounted commercial signs are either fabricated from painted wood or cast metal plaques and are to be mounted within the sign band or within the storefront transom. The height of the sign is restricted to 75% of the area of the sign band or 14 inches - whichever is less. The sign band of a building consists of the area located above the ground floor storefront opening and below the second floor windowsill, and is located a minimum of 8'-0" and a maximum of 15'-0" above grade. Refer to figures 28, 29, and 30 for location. Surface mounted or pin-mounted signs are not permitted on secondary elevations without a defined sign band.
2. Pin-mounted commercial signs consist of reverse channel, cast metal and flat cut metal letters mounted above the storefront in the masonry sign band or suspended in front of the storefront at the transom or recessed entry. The size of the lettering is restricted so that the height of the letters does not exceed 75% of the height of the sign band or 14 inches - whichever is less. The length of the lettering is to be contained within 75% of the length of the sign band. (See figure 38)



Figure 38

3. Interior signs floating independently are set behind the glass either at the transom or at the sill of the storefront and are lit from a separate source. This sign must adhere to the size limitations of the decal signs. (See figure 39)

4. Decal Signs are defined as painted or vinyl transfer letters and numbers. Decal signs can be mounted within the transom and at the lower section of the storefront window area so as not to interfere with the merchandising. The decal sign area at the lower section of the window can occupy up to 10% of the glass area of a single pane. Decals mounted at the transom are restricted to 50% of the area of the transom. Decals located at the lower section of the main display area are to be limited to 6” in height unless they contain store operation hours, which are restricted to 2”. (See figure 40)

Figure 39



Figure 40

5. Projecting blade commercial signs can be round, square or vertical, mounted from the face of the building at the second floor level between the windows or at the head of the storefront and are oriented to pedestrian scale. The signs are to be mounted on fixed hardware; no swinging or chain-mounted signs are allowed. The dimensions of the sign are not to exceed 6 square feet (36” high and 24” deep) (See figure 41). If illuminated, the signs should be lit with an unobtrusive light source.



Figure 41

6. Incidental wall signs such as building management identification and directory signs should be integrated into a single sign and be constructed of brushed bronze, antique bronze or painted cast iron. Such signs should not be placed on the prominent street front facade and should be directed to public residential entries.

e. Awnings and Banners

Awning scale and proportions are to be appropriate for the building on which they are mounted as well as the adjacent structures. It is highly recommended that awnings be uniform in size, shape (except for arched openings, see “Forms” below) and color in order to unify multiple storefronts within a single building. The length of the awning is to be restricted to the length of the storefront opening; awnings must not continue over masonry piers. The vertical and horizontal dimension should be proportional to the overall projection of the awning. (See figure 42)



Figure 42

Awning projection is preferred at 36 inches, but awnings will be considered which range from a minimum of 24 inches to a maximum of 36 inches. Projection depth should match the existing adjacent awnings provided they comply with the acceptable minimum and maximum projection. Awnings should be placed at a minimum height of 8 feet above the sidewalk. If awnings are lit it should be from an outside source; no backlit awnings are allowed.

Forms: Awning forms are to conform to the general shape of the opening. Arched openings are to receive ½-round domed awnings, whereas rectangular openings are to receive rectangular, gently sloping; planar forms with closed ends. Valances may be fixed or loose.

Mounting: Awnings may be fixed or retractable. Retractable awnings must be kept either in the fully projected position or the fully closed position. Fixed awnings are to have concealed rigid metal frames. Retractable awnings should have a canopy cover and automatic retractable rollers mounted to the building. Underpanels are not desired. Frames should be painted to match or compliment the color of the awning cover material or its underside.

Materials: The awning material should be taut, not relaxed. Awning materials may include matte finish painted army duck, vinyl-coated cotton, acrylic-coated polyester, and vinyl-coated polyester or cotton and solution-dyed acrylic. All materials should receive silkscreen, painted, cutout lettering, heat color-transfer, pressure sensitive vinyl films or sewn appliqué signs. Awning signs and logos are limited to a height of six inches, and may be placed on the valance only.

Colors: Awning and banner colors must take into account the color selection of the surrounding materials, buildings, signs, awnings, and image of the retailer/user and district. All awnings located on the same building must be the same color. Colors should enhance and compliment the building and are restricted to earthtones and primary and secondary colors. Final color selection is contingent on approval by the Design Review Board and compliance with the Village awning ordinance.

Banners should be considered as identification of commercial districts. Banners may be location, event, holiday or sponsor specific and can create a unifying thread between the independent districts. Banners are to be mounted on existing poles by fixed brackets and hardware. The Design Review Board must approve the final design.

All new or replacement Awnings and Banners must comply with Village Ordinances and the Design Guidelines.

f. ADA Compliance:

Federal and State regulations require all public spaces to be accessible. Accessibility alterations shall allow access from either the primary or the secondary facade; additions of elevators or ramps should be designed as an integral element of the building.

Entrances: Commercial and mixed-use facilities should provide first floor access from the primary or secondary facade.

Elevators: Where possible, elevators should be incorporated into the existing building envelope. If physically impossible, the elevator and stair core can be located on the exterior of the building but should be located so as not visible from the main public way.

Ramps: Where required, the slope of the ramp should be as gradual as possible to eliminate the need for handrails. Although a 1:12 slope is permitted, 1:20 is encouraged. A ramp should be an integral design element, reflecting the design of the building it serves and surrounding site. This can be accomplished by concealing the ramp behind a low screen wall.

g. Mechanical Equipment

1. Location

Mechanical Equipment must not be visible from pedestrian view. Roof top equipment should be located either in the center of the roof or in one corner away from the street elevation so as not to be visible from the primary or secondary approach.



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: DESIGN REVIEW BOARD
FROM: CHRISTOPHER MARX, AICP, ASSOCIATE PLANNER
DATE: JULY 10, 2020
SUBJECT: CASE NO. 20-09-DR: 903 GREEN BAY ROAD - ENGEL & VÖLKERS
CONSIDERATION OF AWNING PERMIT

INTRODUCTION

On July 16, 2020, the Design Review Board will conduct a virtual public hearing, in accordance with social distancing requirements, Governor Pritzker's Executive Orders and Senate Bill 2135, on an application submitted by Live & Play Chicago North Shore, LLC d/b/a Engel & Völkers North Shore Real Estate (the "Applicant"), as the tenant of the second floor space at 903 Green Bay Road (the "Subject Property"), to allow the installation of an entryway awning.

PROPERTY DESCRIPTION

The Subject Property is located on the east side of Green Bay Road between Tower Road and Gage Street in the Hubbard Woods Business District. It is zoned C-2 General Retail Commercial and while it is located in the Commercial Overlay District, the commercial space the Applicant is located in the second floor of the building, is outside of the Overlay. The Subject Property contains a two-story commercial building that is currently vacant, and the space now occupied by the Applicant was previously occupied by *Jeannie Balsam Interiors*. The building is a traditional Tudor Revival with Tudor accents and a brick façade and retractable green awnings on the first floor. Figures 1 through 3 later in this report identify the Subject Property.

RECENT APPROVALS FOR THE APPLICANT

On June 18, 2020, the Design Review Board approved a Certificate of Appropriateness to allow exterior façade changes for the one-story building at 930 Green Bay Road, which is located on the west side of Green Bay Road. The Applicant is currently seeking approval of a special use permit to operate a real estate office at that site, which is located in the Commercial Overlay District. On June 24, 2020, by a vote of 7-1, the Plan Commission recommended denial of the request. The Village Council is tentatively scheduled to consider the request at its meeting on July 21, 2020. The Applicant is temporarily occupying the second floor space on the Subject Property.

CURRENT REQUEST

The Applicant is requesting approval of an awning over the second floor entryway on the Subject Property to provide identification for its temporary real estate office located on the second floor of the building. The proposed awning would be fixed with a black, galvanized steel frame and white canvas material that would replace an existing green awning in the same spot. The awning would project 4 feet from the building wall and have a clearance of 8 feet above the sidewalk. It would measure 54 inches in length, 22 inches in height, with an 8-inch valance ribbon that would read "Engel & Völkers" in 6-inch

black vinyl lettering and a red ampersand. The Applicant states that the awning is intended to provide identification for their temporary office until the Special Use Permit for their permanent location is approved. Real estate signage for availability of the property, as seen in the rendering and Figures 1 through 3, are temporary and not included as part of application, according to the Applicant. The Applicant has provided a rendering of the proposed awning which is included in the submitted application materials in Attachment A.

AWNING CODE ANALYSIS

Chapter 12.24 of the Village Code establishes standards for the installation of awnings located within the public right-of-way. The awning would be permanently fixed, fabricated of metal, project at least 8 feet above the sidewalk, and not extend more than three-fourths of the width of the sidewalk, as required by code.

SIGN CODE ANALYSIS

Section 15.60.120 of the Village Code establishes standards for awning signs within the Village's commercial districts. The Sign Code limits the copy on an awning to the name, logo, or address of the business while having lettering no larger than 6 inches. The proposed awning copy would only have the business' name with lettering 6 inches in height.

DESIGN GUIDELINES ANALYSIS

The Village's Design Guidelines provide guidance on the installation of awnings. The Guidelines recommend awnings be in conformity and proportionality for the building in which it serves. The awnings' color should enhance and contribute to the building and surrounding neighborhood and are restricted to earth tones and primary colors and secondary colors. The proposed white entryway awning would maintain a sort of symmetry for the building's appearance, but would represent a slight contrast to the green retractable awnings on the rest of the storefront façade. An excerpt of the Design Guidelines pertaining to commercial signage and awnings is included as Attachment B.

SUMMARY

The Applicant requests that the DRB find the proposed awning as appropriate and compatible with the Design Guidelines and approve as proposed. Should the DRB approve the Awning Permit, the Applicant would first need to receive the awning permit from the Community Development Department.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Design Guidelines Excerpt



Figure 1 – Subject Property – Street frontage along Green Bay Road



Figure 2 – Subject Property – Frontage along Green Bay Road, facing northeast.



Figure 3 – Subject Property – Frontage along Green Bay Road, facing southeast.

ATTACHMENT A

Village of Winnetka
AWNING PERMIT APPLICATION

V I L L A G E O F W I N N E T K A, I L L I N O I S
DEPARTMENT OF COMMUNITY DEVELOPMENT

AWNING PERMIT APPLICATION

Tenant/Lessee

Name of Business Live & Play Chicago North Shore LLC		Primary contact name Paul Lazarre		Phone No. 847-274-6898
Street Address 903 Green Bay Road				
City Winnetka	State IL	Zip Code 60093	Email paul.lazarre@evrealestate.com	

Awning Company

Name of Awning Company RB Awning		Primary contact name Robert Brian		Phone No. 847-679-1140
Street Address 8152 N. Lawndale				
City Skokie	State IL	Zip Code 60076	Email rbawning@rcn.com	

Property Owner

Name of Company Maloney Real Estate, Inc		Primary contact name James J. Maloney		Phone No. 773-929-2671
Street Address: 2438 N. Clark St.				
City Chicago	State IL	Zip Code 60614	Email maloneyrealestate@sbcglobal.net	

Awning is retractable or rigid
 new awning or recovering of existing frame

Description of fabric type and color (attach samples) _____

Description of awning sign material, method of application and color: White canvas awning with Engel & Völkers logo; Please disregard real estate sign in rendering. We are not requesting this.

Height of awning logo/copy: 6 inches

Awning Dimensions: Width 54" Height 1'10" Projection from Building Face 4'

OFFICE USE ONLY: PERMIT FEE (\$70 each) _____
CONDITIONS OF APPROVAL: _____



ENGEL & VÖLKERS

e. Awnings and Banners

Awning scale and proportions are to be appropriate for the building on which they are mounted as well as the adjacent structures. It is highly recommended that awnings be uniform in size, shape (except for arched openings, see “Forms” below) and color in order to unify multiple storefronts within a single building. The length of the awning is to be restricted to the length of the storefront opening; awnings must not continue over masonry piers. The vertical and horizontal dimension should be proportional to the overall projection of the awning. (See figure 42)



Figure 42

Awning projection is preferred at 36 inches, but awnings will be considered which range from a minimum of 24 inches to a maximum of 36 inches. Projection depth should match the existing adjacent awnings provided they comply with the acceptable minimum and maximum projection. Awnings should be placed at a minimum height of 8 feet above the sidewalk. If awnings are lit it should be from an outside source; no backlit awnings are allowed.

Forms: Awning forms are to conform to the general shape of the opening. Arched openings are to receive ½-round domed awnings, whereas rectangular openings are to receive rectangular, gently sloping; planar forms with closed ends. Valances may be fixed or loose.

Mounting: Awnings may be fixed or retractable. Retractable awnings must be kept either in the fully projected position or the fully closed position. Fixed awnings are to have concealed rigid metal frames. Retractable awnings should have a canopy cover and automatic retractable rollers mounted to the building. Underpanels are not desired. Frames should be painted to match or compliment the color of the awning cover material or its underside.

Materials: The awning material should be taut, not relaxed. Awning materials may include matte finish painted army duck, vinyl-coated cotton, acrylic-coated polyester, and vinyl-coated polyester or cotton and solution-dyed acrylic. All materials should receive silkscreen, painted, cutout lettering, heat color-transfer, pressure sensitive vinyl films or sewn appliqué signs. Awning signs and logos are limited to a height of six inches, and may be placed on the valance only.

Colors: Awning and banner colors must take into account the color selection of the surrounding materials, buildings, signs, awnings, and image of the retailer/user and district. All awnings located on the same building must be the same color. Colors should enhance and compliment the building and are restricted to earthtones and primary and secondary colors. Final color selection is contingent on approval by the Design Review Board and compliance with the Village awning ordinance.

Banners should be considered as identification of commercial districts. Banners may be location, event, holiday or sponsor specific and can create a unifying thread between the independent districts. Banners are to be mounted on existing poles by fixed brackets and hardware. The Design Review Board must approve the final design.

All new or replacement Awnings and Banners must comply with Village Ordinances and the Design Guidelines.

f. ADA Compliance:

Federal and State regulations require all public spaces to be accessible. Accessibility alterations shall allow access from either the primary or the secondary facade; additions of elevators or ramps should be designed as an integral element of the building.

Entrances: Commercial and mixed-use facilities should provide first floor access from the primary or secondary facade.

Elevators: Where possible, elevators should be incorporated into the existing building envelope. If physically impossible, the elevator and stair core can be located on the exterior of the building but should be located so as not visible from the main public way.

Ramps: Where required, the slope of the ramp should be as gradual as possible to eliminate the need for handrails. Although a 1:12 slope is permitted, 1:20 is encouraged. A ramp should be an integral design element, reflecting the design of the building it serves and surrounding site. This can be accomplished by concealing the ramp behind a low screen wall.

g. Mechanical Equipment

1. Location

Mechanical Equipment must not be visible from pedestrian view. Roof top equipment should be located either in the center of the roof or in one corner away from the street elevation so as not to be visible from the primary or secondary approach.



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: DESIGN REVIEW BOARD
FROM: DAVID SCHOON, DIRECTOR
ANN KLAASSEN, SENIOR PLANNER
DATE: JULY 10, 2020
SUBJECT: 688 & 694 GREEN BAY ROAD - THE WALDEN RESIDENCES
- PRELIMINARY PLANNED DEVELOPMENT REVIEW (CASE 2019-15-PD)

INTRODUCTION

On July 16, 2020, the Design Review Board is scheduled to hold a virtual public meeting, in accordance with social distancing requirements, Governor Pritzker's Executive Orders and Senate Bill 2135, to consider an application submitted by Walden Winnetka, LLC (the "Applicant") as contract purchaser of the property located at 688 and 694 Green Bay Road (the "Subject Property"), which is owned by CCF Winnetka, LLC (the "Owner") to allow the construction of a new six-unit multi-family residential building with below grade structured parking on the Subject Property. The Applicant has filed an application seeking approval of a certificate of appropriateness, a plat of consolidation, a preliminary planned development plan with zoning exceptions.

At the July 16 meeting, the Design Review Board will review the design of the proposed building and landscaping as part of its consideration of granting a Certificate of Appropriateness to allow the construction of a new six-unit multi-family building on the Subject Property. The application materials are included in Attachment A. **It should be noted that given the meeting will be held virtually, Board members are encouraged to schedule a time prior to the meeting with staff to review the material samples at the Village Hall.**

The Planned Development Commission will be holding a separate public hearing on approvals for the plat of consolidation, the preliminary planned development plan and associated zoning exceptions. The date of that meeting will be set once the Design Review Board has completed its review.

Property owners within 250 feet of the Subject Property have been notified of the Design Review Board meeting by mail notice. As of the date of this memo, the Village has received written public comments regarding the proposed project (Attachment B).

PLANNED DEVELOPMENT PROCESS

On April 25, 2019, the Village Council adopted amendments to the Village's planned development regulations. Given this is the first proposed planned development to be reviewed under the new regulations, staff thought it would be helpful if we review the process with the Board.

The new process consists of the following major steps:

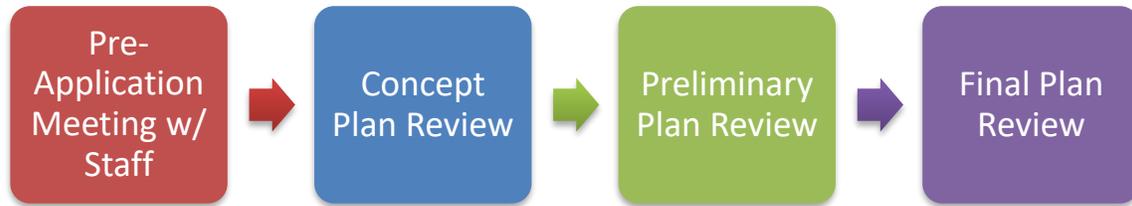


Figure 1 – Concept Plan Review

Concept Plan Review. The concept plan review step is conducted by the Village Council. The purpose of the Village Council’s review of the concept plan application is to broadly acquaint the Council with the Applicant’s proposal. This step also provides the Applicant with any preliminary concerns members of the Council may have early in the process when adjustments are still possible and prior to the Applicant expending the funds necessary to prepare the complete documentation required for a preliminary plan application. After hearing the comments and suggestions from the Village Council, the Applicant decides whether or not to proceed with the project. If they do proceed, the Applicant then must submit a preliminary planned development application with all the required documents for review and recommendation by the Planned Development Commission and the Design Review Board.

On July 16, 2019, the Village Council conducted the concept plan review of the proposed six-unit multi-family project. The current preliminary proposal is fairly similar in design as the July 16, 2019 concept plan. Copies of a couple images from the concept plan review are below.

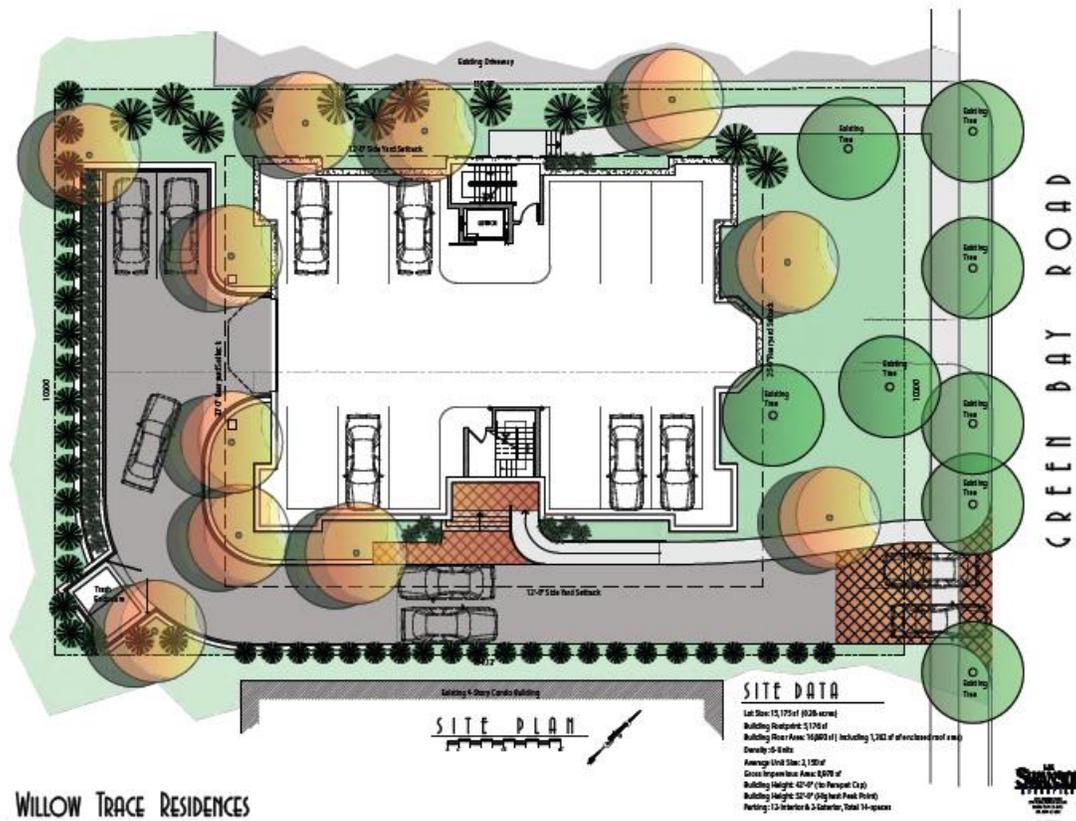


Figure 2 - Concept Plan - Site Plan Presented to Council on July 16, 2019



Figure 3 - Concept Plan - East Building Elevation Presented to Council on July 16, 2019

During the concept plan review, Council members expressed that they were generally open to the proposed development and the design of the building, but individual Council members stated that the following issues should be carefully considered during the preliminary planned development process:

- a) The impact on the homes immediately to the west of the development;
- b) The height of the building and its impact on adjacent properties;
- c) Ensure the installation of adequate stormwater control;
- d) Parking and driveway access; and
- e) Access and siting of the trash enclosure.

Council members also asked the Applicant to communicate with the neighbors to hear their concerns regarding the proposed development. A copy of the staff report for the Council’s July 16, 2019 meeting as well as copy of meeting minutes are attached as Attachment C.

Preliminary Plan Review. As previously stated, the Applicant has submitted an application for preliminary planned development approval. Preliminary plan review includes the following steps:



Figure 4 – Preliminary Plan Review

The Design Review Board’s role is to provide a recommendation to the Village Council regarding the design of buildings, structures, signage, and landscaping that are part of a proposed planned development in the context of the requested zoning relief.

The Planned Development Commission’s role is to provide a recommendation to the Village Council regarding proposed subdivision and zoning relief. Though not the purview of the Design Review Board, the additional zoning relief is summarized later in this report.

Final Plan Review. The final plan review step of the planned development process is to ensure the plan to be constructed is consistent with the approved preliminary planned development plan. Final plan review consists of the following steps:

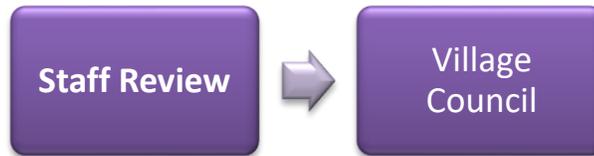


Figure 5 – Final Plan Review

During the final plan review process, the Council may return the final application to the Planned Development Commission and/or the Design Review Board for further consideration and recommendations to the Village Council.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.35 acres (15,000 square feet) in size, is located on the west side of Green Bay Road between Pine Street and Westmoor Road. Currently, there is a vacant single family residence on the 688 Green Bay Road parcel and the 694 Green Bay Road parcel is vacant. Figures 6 through 8 on the following pages identify the Subject Property.



Figure 6 – Subject Property (688 Green Bay Road)



Figure 7 – Subject Property (694 Green Bay Road - looking southwest from Green Bay Road)



Figure 8 – Aerial Map

The Land Use Plan Map of the 2020 Comprehensive Plan designates the Subject Property as appropriate for “Townhouse Residential” development, which is generally a lower-density transitional area between commercial districts and single family neighborhoods (See Figure 9). The Land Use Plan Map designates the property to the south along Green Bay Road as appropriate for “Multi-Family Residential” and to the north as appropriate for “Townhouse Residential”.



Figure 9 – Comprehensive Plan Land Use Map

The property is zoned B-1 Multifamily Residential, and it is bordered by B-1 Multifamily Residential to the north, B-2 Multifamily Residential to the south, and R-3 Single Family Residential to the west (represented in Figure 10 below). Along Green Bay Road to the south there are multi-family structures and to the north are a duplex building, a townhouse development, and a multi-family building. Immediately to the west are two single family homes (see Attachment D for photographs). The B1 District allows multi-family structures at a density no greater than 18 units per acre, which for the Subject Property would be 6 units.



Figure 10 – Zoning Map



Figure 12 - Current Plan - East Building Elevation

The Applicant describes the proposed architectural design of the development as English Country Manor style. As described in the attached narrative provided by the Applicant and included in this report as Attachment A, the exterior materials would include reddish/brown face brick and limestone trim with a fieldstone water table on all four elevations. The window frames would be black with simulated divided lite muntins. The units would also include private balconies that would be faced with wood trim and include black wrought iron rails, balustrades and spindles. The pitched roof elements would be DaVinci artificial slate shingles with copper decorative finials, gutters and downspouts.

On-site stormwater management would be provided by a stormwater system that drains all surface stormwater run-off towards an underground stormwater vault located under that portion of the driveway that runs along the southerly property line. The stormwater within the vault would then drain into a stormwater main under Green Bay Road. It should be noted that given Green Bay Road is a State highway, the Applicant will need to secure Illinois Department of Transportation approval to tie its proposed stormwater system to the main in the Green Bay Road right-of-way.

STAFF REVIEW

Staff has reviewed the proposed preliminary plan and has determined that the application is ready for consideration by the advisory bodies and the Village Council. Given that this is preliminary plan approval, staff has identified technical issues which the applicant will need to address at time of final plan approval or building permit approval.

CERTIFICATE OF APPROPRIATENESS CONSIDERATIONS

As established by the Village Code, the Design Review Board is to consider the following four (4) factors in determining whether to grant a Certificate of Appropriateness:

- (1) whether the proposed external architectural features and site improvements are appropriate to and compatible with the character of the immediate neighborhood;

- (2) whether the proposed external architectural features and site improvements are appropriate to and compatible with adopted Village plans for and improvements in the immediate neighborhood, and including both urban design and site arrangement considerations (Note: Please refer to the early section “Property Description” in which the project consistency with the Comprehensive Plan is summarized).
- (3) whether the proposed external architectural features and site improvements are consistent with applicable Village design guidelines and such standards and criteria as may be adopted by the Board; and
- (4) the probable effect of the proposed external architectural features on the integrity of the immediate vicinity.

The Board will need to determine if the proposed multi-family building and its associated hardscape and landscape comply with the above standards.

An excerpt of the *Village Design Guidelines* is included (Attachment E), highlighting standards which apply to multi-family residential buildings. It should be noted that these guidelines for multi-family residential buildings were generally designed for the Village’s three core business districts – Elm Street, Hubbard Woods, and Indian Hill. However, the Board may find all or some of them applicable to the proposed project.

PLANNED DEVELOPMENT COMMISSION CONSIDERATION

At the writing of this staff report, the date of the Planned Development Commission’s consideration has yet to be firmly set, as that Commission’s review is scheduled to occur after the Design Review Board makes its recommendation. For the Board’s information, the Commission will be considering the following zoning and subdivision relief:

- A. Plat of Consolidation – 688 Green Bay Road and 694 Green Bay Road will need to be consolidated into one single lot of record.
- B. Maximum Building Size Variation – The consolidated lot area of 15,000 square feet allows a maximum gross floor area (GFA) of 12,000 square feet (or what is also called a maximum floor area ratio of 0.80). As proposed, the building consists of approximately 17,915.9 square feet of gross floor area, requiring a variation of 5,915.9 square feet (49.30%).
- C. Maximum Building Height Variation – The proposed building height is 48.6 feet and four (4) stories, whereas the maximum permitted building height is 35 feet and 2½-stories. The dimension of 48.6 feet is measured from the first floor to the highest point of the decorative gable at the center of the building. The height to the top of the flat roof of the enclosed storage and lounge area on the fourth floor would be 44.95 feet. The proposed design also includes four corner tower roof elements that would be 44.2 feet in height with a parapet between the four corners that would be 36.7 feet in height. It is relevant to note that the proposed units include 10-foot ceiling heights for each floor level, which according to the Applicant is a standard design requirement for north shore residences in this market.
- D. Impermeable Lot Coverage – The proposed impermeable lot coverage (ILC) (building footprint and paved surfaces) is 11,168.7 square feet, whereas a maximum ILC of 9,000 square feet is allowed. As proposed, the proposed ILC exceeds the amount allowed by 2,168.7 square feet, or 24.1%.
- E. Principal Roof Form Variation – The proposed design incorporates pitched roof gables at the four corners of the building as well as the center, however, the primary roof design is that of a

flat roof. The Zoning Ordinance prohibits flat roofs, shed roofs, mansard roofs, butterfly roofs, domed roofs and the like.

- F. Façade Articulation Variation - The façade articulation requirement is intended to assure that the apparent scale of the building is compatible with the scale of near-by single family development by requiring no exterior wall be unarticulated for a distance greater than 50 feet. The Zoning Ordinance requires the separation distance in the plane of the walls be at least four (4) feet. The north wall of the proposed building does not comply with this requirement as the proposed separation distance in the plane of the walls is only two feet.

Though the zoning and subdivision relief is not the purview of the Design Review Board, we are providing you with this information so you are aware of the relief the Planned Development Commission will be considering.

RECOMMENDATION

At the July 16, 2020 Design Review Board meeting, the Board is scheduled to consider the design of the Applicant's proposed building, hardscape, and landscaping.

After hearing from the Applicant and the public, the Board may decide to take action on one of two options:

- 1) Continue further review of the application to a date specific in order to provide the Applicant and/or staff additional time to address questions and comments from the Board.
- 2) Adopt a motion recommending approval or a motion recommending denial of a certificate of appropriateness for design of the proposed building, hardscape, and landscaping designs.

If the Board wishes to adopt a motion recommending approval or denial, a Board member will want to make a motion such as the following:

*Move to recommend **approval [denial]** of a certificate of appropriateness for the **design of the building, hardscape, and landscape for the proposed six-unit multi-family building on the Subject Property**, subject to the following conditions:*

- A. [If the Commission chooses to place conditions as part of its recommendation, it will want to include the conditions here.]**

The Board's recommendation is based on evidence in the record, or a public document, and upon the following findings of fact:

- (1) the proposed external architectural features and site improvements are appropriate to and compatible with the character of the immediate neighborhood;*
- (2) the proposed external architectural features and site improvements are appropriate to and compatible with adopted Village plans for and improvements in the immediate neighborhood, and including both urban design and site arrangement considerations;*
- (3) the proposed external architectural features and site improvements are consistent with applicable Village design guidelines and such standards and criteria as may be adopted by the Board; and*
- (4) the probable effect of the proposed external architectural features on the integrity of the immediate vicinity.*

Staff and the Applicant will be present at the July 16 meeting to present a summary of the application and to answer any questions.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Public Comments

Attachment C: July 16, 2019, Village Council Review of Concept Plan - Staff Report & Meeting Minutes

Attachment D: Photographs of Area Properties

Attachment E: Excerpts of Village Design Guidelines



1930 Amberley Court
Lake Forest, Illinois 60045
(847) 457-6770 direct
(847) 757-3975 mobile
rick@rmswanson.com

March 10, 2020

David Schoon
Community Development
Planning Division
Village of Winnetka
510 Green Bay Rd.
Winnetka, IL 60093

Re: 688 & 694 Green Bay Rd.

Mr. Schoon,

We respectfully request the Village of Winnetka's careful consideration of our proposed multi-family residential project at 688 & 694 Green Bay Road. The properties are currently zoned B-1 Multi-family and will be consolidated as one lot under this zoning designation. We have reviewed the regulations for this zoning district and will be in compliance with all requirements except four, which we intend to seek zoning relief. There were two existing single-family residences on the respective parcels. One of the two has been demolished and the other to be demolished as a condition of our approval process.

The proposed building will be comprised of 4- 2,180 sf and 2-2,404 sf for a total of 6-luxury flats in 3-stories with 12-below ground parking spaces and a fourth story for owner storage space and common area indoor lounge (1,406 sf). The fourth story will also include a 575 sf roof deck and 348 sf roof garden. Two guest parking spaces will be provided in the rear including one handicap space with additional street parking available on Green Bay Rd. A Traffic and Parking Memo has been prepared confirming adequate access and sufficient parking to meet demand. Ceiling heights will be 10'-0" for each floor to meet consumer demand and provide a more historically correct placement of fenestration to the exterior of the building. The proposed building is within all required setbacks and not impacted by underlying easements title restrictions. Some existing trees will be removed, many of which are in poor condition or invasive species. Nevertheless, we intend to comply with the Village's Tree Ordinance and plant new healthy trees as approved by the village forester.

The proposed architectural design vernacular embraces the English Country Manor style, which is consistent with the Village's aesthetic character and established Design Guidelines. Exterior materials will include reddish/brown face brick with limestone trim and fieldstone water table on all four elevations. The window frames will be black with simulated divided lite muntins and private balconies will be faced with wood trim and

include black wrought iron rails, balustrades and spindles. The pitched roof elements will be Da Vinci artificial slate shingles with copper decorative finials, gutters and downspouts.

We will be humbly seeking zoning relief for the following:

Plat of Consolidation: The existing site is comprised of two (2) residential lots and we intend to consolidate these into one lot as a condition of this approval. This is more an academic procedure to accommodate the proposed use, if approved.

Maximum Floor Area Ratio: Since appearing before the Village Council in July of 2019, we have had the opportunity to revisit our proposed design and make adjustments that significantly reduce the amount of gross floor area as defined by Village Ordinance.

The current B-1 zoning designation allows a maximum floor area (FAR) of 80% of the gross lot area. For this site, we have 15,000 sf of lot area, which would provide 12,000 sf of allowable floor area. The total proposed gross area of floor 1 thru 3 is 15,957.9 sf not including the first 2-stories of balconies, which total 552 sf. The gross floor area of the proposed storage and lounge on the 4th floor is 1,406 sf. The gross area (5,190 sf) of the underground Garage has now been eliminated by way of lowering the height of the first floor to less than 3'-0" above proposed grade.

The resulting total gross area of the proposed building is 17,915.9 sf including 1st thru 2 floor and open balconies. This will require a variation of 5,915.9 sf (49%), which is a significant reduction from the initial assumption of 10,817 sf (90%). A more detailed exhibit is provided in the Gross Floor Area Matrix attached to this application but is summarized as follows:

a. First, Second & Third Floors:	15,957.9 sf
b. Fourth Floor (Storage & Lounge):	1,406.0 sf
c. <u>Balconies:</u>	<u>552.0sf</u>
Gross Floor Area:	17,915.9 sf

Maximum Building Height: The current maximum allowable building height for this zoning classification is 35'-0", which is measured from the first-floor elevation to the highest point of the proposed structure. Our plan proposes a 48'-6" height from the first-floor elevation to the peak of the highest gable elements located at the midsection of the north and south facades. The corner tower roof elements will be 44'-2" to the peaks. The parapet will be 36'-7" using the same method of measurement. That portion of the roof mass measuring 48'-6" is decorative gable; intentionally located in the center of the building to screen from the east and west view perspectives. As a result, the streetscape mass that will be visible is dominated by the 36'-7" parapet and framed on each corner by the 5'-2" pitched roof elements. Note that we are also proposing 10'-0" ceiling heights for each of the floors, which is a standard design requirement for north shore residences in this market.

Principal Roof Form: Village code also provides that principal roof forms provide connection between the eaves. We attempted to creatively utilize this mass by discreetly placing this more vertical elements away from the street view and providing logical purpose by way of storage and roof access. We have carefully reviewed the Village's Design Guidelines to better understand and embrace the aesthetic character of the community as it relates to this site. Our objective has been to create the most attractive result using the very best materials in a historically appropriate perspective. Like many properties in Winnetka, this is an infill site and therefore, will need to fit contextually into the existing environment. We make no pretext about the fact that this is a multi-family project and have attempted to provide all the elements that meet the high standards and expectations of sophisticated buyers. It should also be noted that our buyer demographic was expected to be and has been primarily existing Winnetka residents. The one comment we get routinely is how much this design "looks like Winnetka". While from a technical perspective the primary roof form is a flat roof, we have attempted to incorporate design elements that respect the existing mass and scale of existing structures and fit harmoniously into the neighboring streetscape. The primary design vernacular along Green Bay Road could be best described as traditional European influence, which is consistent with our intent. Lastly, more than half of the proposed flat roof area will be used as a roof garden as a respite for residents and socialization. None of the areas defined as flat will be seen from and public perspective.

Façade Articulation: This issue was raised in the July 9, 2019 in the Staff Memorandum to the Village Council. We have more carefully reviewed the specific language and made adjustments to the design to better adhere to this condition. However, the proposed north facing façade will now be the only exterior elevation requiring zoning relief. Although this elevation provides articulation well within the required 50'-0" distance limitation, the proposed plane distance will be 2'-0" as opposed to the 4'-0" minimum suggested in the ordinance. We believe this is also more of an aesthetic as opposed to a technical issue and strict compliance with this requirement will provide no meaningful benefit as it relates to this proposed project. Again, we hope to make our point as we work through the Design Review Board process.

Impermeable Surface: The Village's Lot Coverage ordinance provides a maximum lot coverage of 60% of the total lot area. Our property is 15,000 sf, which would allow 9,000 sf of impermeable surface area. Our initial review submittal did meet that requirement and we designed a proposed sidewalk with a permeable surface material to meet this standard. After completion of the first staff review of our petition packet, we were directed to widen the driveway by the village fire marshal to provide sufficient access for emergency vehicles. Although we reduced other areas to supplement this increase the result was still a total impervious surface area of 11,168.7, which is 2,168.7 (24% over) the allowable. It should be noted that we could easily meet this standard if the Garage entrance were moved to the east side of the building. However, this presents a less efficient means of access for residents and emergency vehicles. In addition, the placement of overhead garage doors to Green Bay Road would seem visually less pleasing alternative.

We have also given thought to the compensating benefits our project will provide to the community. First, our proposed building will offer significant improvement to the Green Bay Road streetscape by removing unsightly structures and further enhancing the gateway to Winnetka from the north. This will include architecture that is consistent with the aesthetic character of the community with significantly safer access to the site. In addition, we will be installing noninvasive plant material that will enhance the pedestrian experience and provide appropriate landscape screening for our adjacent neighbors. All site improvements will be privately owned and not require dedication and or perpetual maintenance to the Village. Finally, the proposed project will provide a much needed housing stock for the community and significantly enhance property values in the neighborhood.

We appreciate this opportunity to present our project to the Planned Development Board and look forward to discussing this in more detail with you in the new year.

Respectfully,

A black rectangular redaction box covering the signature of Rick Swanson.

Rick Swanson AIA, NCARB
Managing Member

PD-P



VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

PLANNED DEVELOPMENT
PRELIMINARY PLAN APPLICATION

Prior to submitting this formal application, the matter must first be reviewed as a concept plan application by the Village Council. If the Council has not yet reviewed your concept plan application, please contact the Community Development Department to learn what is required. The following materials are the minimum required for the processing of a formal application by the Village of Winnetka's Planned Development Commission and Village Council. A public hearing for an application will not be scheduled until all required materials have been submitted and revised as necessary to meet Code requirements, as determined by Village staff. If you have questions regarding the completion of this application please contact the Development & Planning Services Department at 847-664-4050.

The initial submittal **MUST** contain:

- 7 collated copies of complete sets of all application materials, including the application form, required attachments, and folded full size plat/plan sheets
- 1 electronic version (PDF) of ALL application materials (refer to application section regarding instructions).

Applicant Information

Legal Name Scott Perlson

Company Walden Winnetka LLC

Address [REDACTED]

City, State, Zip Deerfield, AZ 60015

Phone No [REDACTED]

Email [REDACTED]

Primary Contact Person

Name Rick Swanson

Company _____

Address _____

City, State, Zip _____

Phone No _____

Email _____

Consultants (as applicable)

Attorney

Name Scott Weinstein

Company Field and Goldberg, LLC

Address 10 S La Salle Suite 2910

City, State, Zip Chicago, IL 60603

Phone No 312 408-7205

Email sweinstein@fieldandgoldberg.com

Architect/Planner

Name Rick Swanson

Company Swanson Development LLC

Address 11418 E Mission Ln.

City, State, Zip Scottsdale, AZ 85259

Phone No 847 757-3975

Email rick@rmswanson.com

Civil Engineer

Name Eric Mancke

Company ESM Civil Solutions

Address 4320 Winfield Rd. Suite 200

City, State, Zip Warrenville, IL 60555

Phone No 630 624-0520

Email ericesmcivilsolutions.com

Other

Name _____

Company _____

Address _____

City, State, Zip _____

Phone No _____

Email _____

Property Information *(if more than one parcel is involved in the request please include the information for all parcels)*

Site Location/Address: 688 & 694 Green Bay Road

Property Index Numbers: _____

Size of Property: (square feet/acres) 15,000 sf

Size of Building Space, if applicable: (square feet) _____

Current Comprehensive Plan Land Use Designation: Multi-family

Current Zoning: B-1

Current Use of the Property: Residential/Vacant

Is any portion of the property within the 100-year floodplain?¹ Yes: _____ No: X

Requested Action(s) *(check all that are applicable):*

Planned Development – Preliminary Plan

Amendment to Existing Planned Development

Ord. No. _____

Comprehensive Plan Amendment

Rezoning from _____ to _____

Special Permit for _____

Zoning Code Text Amendment

Zoning Exceptions (attach document listing and explaining exceptions)

Subdivision – Preliminary Plat

Subdivision Exceptions (attach document listing and explaining exceptions)

Other _____

Plat of Survey & Parcel Legal Description(s)

Attach the most recent plat of survey of the Subject Property, certified by a registered land surveyor, showing existing lot lines and dimensions, lot area, all easements, all public and private rights-of-way, and all streets across and adjacent to the subject property.

Conformity with Comprehensive Plan

Include a written statement explaining the conformity, or lack of conformity, of the approval being requested to the Village's Comprehensive Plan Map. Where the approval being requested does not conform to the Comprehensive Plan, provide reasons justifying the requested approval.

Site Ownership and Control

Current Property Owner Information

Legal Name: CCF Winnetka LLC

Primary Contact: Clark Golumbo

Address 216 W. Ohio St., 5th Floor

City, State, Zip Chicago, Illinois 60654

Phone No 312-620-1100

Email clark@ccfbridgeloans.com

Proposed Property Owner Information

Legal Name: Walden Winnetka, LLC

Primary Contact: Scott Perlson

Address [REDACTED]

City, State, Zip Deerfield, IL 60015

Phone No [REDACTED]

Email [REDACTED]

Attach a copy of a title policy and affidavit of ownership showing current ownership of the property. If property is held in a trust, also include a certified copy of the trust agreement or a simple affidavit (under oath before a notary) as to who are the beneficiaries of the trust. (Check which document(s) are attached):

- Affidavit of Ownership
- Title Policy or Title Commitment
- Certified Copy of Trust Agreement OR a simple Affidavit Identifying Trust Beneficiaries

Complete Attachment A, listing all individuals/entities that have a beneficial interest in the legal entity that currently owns the property

Complete Attachment B, listing all individuals/entities that have a beneficial interest in the legal entity that is proposed to own the property upon receiving necessary approvals.

Applicants Involvement with the Property

If the Applicant does not own the property, please also provide documentation showing the applicant's interest in the property (Check which document is attached. The dollar amounts in documents may be blacked-out):

- Owner (see the previous box)
- Real Estate Contract
- Lease
- Other _____

Complete Attachment C, listing all individuals/entities that have a beneficial interest in the legal entity that is the Applicant.

Additional Required Attachment(s)

- Planned Development Worksheet - Preliminary Plan
- If zoning or subdivision relief is requested in addition to planned development preliminary plan approval and preliminary plat approval, the Applicant must submit the appropriate additional application forms and materials.

Filing Fees

All applications require payment of a non-refundable fee, as well as additional funds that are held in escrow to off-set anticipated recoverable expenses. Please attach a check with your application and indicate below the amount of the fee submitted.

\$ 935.00 Amount of Non-Refundable Fee (\$935)

\$ 5,000.00 Amount of Escrow (\$5,000)

\$ 5,935.00 Total Application Fee (Non-Refundable Fee plus Escrow)

The escrow covers Village expenses, which include without limitation, Village attorney fees public notice expenses, and the Village's third party consulting fees. If these expenses exceed the initial escrow deposit, the applicant is responsible for reimbursing the Village for the additional fees. If the expenses are less than the escrow deposit, the applicant will be issued a refund by the Village

Applicant/Owner Acknowledgments

By execution of this application in the space provided below, the Applicant and Owner(s) do hereby certify, acknowledge, agree and affirm to the Village of Winnetka that:

1. The Village and its representatives have the right, and are hereby granted permission and license, to enter upon the property, and into any structures located thereon, for purposes of conducting any inspections that may be necessary in connection with this application.
2. I (We) have carefully read this application, the Winnetka Zoning Ordinance and Winnetka Subdivision Ordinance and fully understand the terms and provisions of each.
3. I (We) waive any rights to exemption from disclosure under the Illinois Freedom of Information Act of any and all documents and information submitted in connection with this application.
4. I (We), in accordance with the requirements of the Annual Fee Resolution, the Winnetka Zoning Ordinance and the Winnetka Subdivision Ordinance, agree to pay all applicable filing fees and be responsible for the payment of all reimbursable expenses associated with the processing of this application. In the event the Village determines insufficient funds exist in the escrow, I (we) understand that the Village may, at its sole discretion, stop the processing of the application until sufficient funds are placed in the escrow account.
5. The Property Owner(s) have reviewed the complete application and approve of its filing by the Applicant.

Applicants may attach additional materials or exhibits to this application if necessary or helpful in explaining the relief requested.

Signature of Applicant:

[If Applicant is an individual]

Signature: _____
Print Name: _____
Date: _____

[If Applicant is an entity]

Name of entity: Walden Winnetka LLC
Signature: _____
Print Name: Scott Perlson
Its: Manager
Date: 12/17/19

Signature of Current Property Owner:

[If Owner is an individual]

Signature: _____
Print Name: _____
Date: _____

[If Owner is an entity]

Name of entity: CCF Winnetka LLC
Signature: _____
Print Name: Clark Golambo Golambo
Its: Manager
Date: 12/20/19

****If more than one applicant or property owner, please copy this page and have additional applicants/property owners sign form.**

Note: Village review and approval of any zoning or subdivision applications may be dependent upon the applicant first receiving necessary approvals from State and County regulatory agencies such as, but not limited to, the Illinois Department of Transportation, Illinois Environmental Protection Agency, the Metropolitan Water Reclamation District of Greater Chicago, & the Cook County Highway Department.

PLANNED DEVELOPMENT – PRELIMINARY APPLICATION

ATTACHMENT A: Current Property Owner – Beneficial Interest

Please check which of the following describes the current property owner's beneficial interest in the property and complete this sheet as instructed for each type of beneficial interest:

<input type="checkbox"/> Corporation	If current property owner is a corporation, please list the name and addresses of all officers and directors of the corporation and all shareholders who own individually or beneficially 5% or more of the stock of the corporation. In addition, this application must be accompanied by a resolution of the corporation authorizing the execution and submittal of this application.
<input checked="" type="checkbox"/> Partnership or LLC	If current property owner is a partnership or an LLC, please list all partners, general and/or limited, with an individual or beneficial interest of 5% or greater.
<input type="checkbox"/> Trust	If current property owner is a trust, please provide the trust number _____ and name and address of the Trustee _____ _____ as well as list below the names and address of all beneficiaries of the Trust, together with their respective interests in the trust. The application shall be further verified by the current property owner in his capacity as trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the Trust

Name: Oak Drive LLC.

Address: c/o John Spoeri, Esq.,
[Redacted] Wilmette, IL 60091

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

PLANNED DEVELOPMENT – PRELIMINARY APPLICATION

ATTACHMENT B - Proposed Property Owner – Beneficial Interest

Please check which of the following describes the proposed property owner’s beneficial interest in the property and complete this sheet as instructed for each type of beneficial interest:

<input type="checkbox"/> Corporation	If the proposed property owner is a corporation, please list the name and addresses of all officers and directors of the corporation and all shareholders who own individually or beneficially 5% or more of the stock of the corporation. In addition, this application must be accompanied by a resolution of the corporation authorizing the execution and submittal of this application.
<input checked="" type="checkbox"/> Partnership or LLC	If proposed property owner is a partnership or an LLC, please list all partners, general and/or limited, with an individual or beneficial interest of 5% or greater.
<input type="checkbox"/> Trust	If proposed property owner is a trust, please provide the trust number _____ and name and address of the Trustee _____, _____, as well as list below the names and address of all beneficiaries of the Trust, together with their respective interests in the trust. The application shall be further verified by the proposed property owner in his capacity as trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the Trust

Name: Scott Perlson (as 50% owner of LP Partners, LLC)

 Address: ██████████

 Deerfield, IL 60015

 Ownership or Trust Interest: 31.50 %

Name: Roger Levin (as 50% owner of LP Partners, LLC)

 Address: ██████████

 Northbrook, IL 60065

 Ownership or Trust Interest: 31.50 %

Name: Lynn Swanson (as 100% owner of Swanson Development LLC)

 Address: ██████████

 Scottsdale, AZ 85259

 Ownership or Trust Interest: 7.00 %

Name: Equity Investor(s) TBD

 Address: _____

 Ownership or Trust Interest: 30.00 %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

ATTACHMENT C - Applicant – Beneficial Interest

Please check which of the following describes the beneficial interest in the legal entity that is the applicant and complete this sheet as instructed for each type of beneficial interest:

<input checked="" type="checkbox"/> Corporation	If applicant is a corporation, please list the name and addresses of all officers and directors of the corporation and all shareholders who own individually or beneficially 5% or more of the stock of the corporation. In addition, this application must be accompanied by a resolution of the corporation authorizing the execution and submittal of this application.
<input checked="" type="checkbox"/> Partnership or LLC	If applicant is a partnership or an LLC, please list all partners, general and/or limited, with an individual or beneficial interest of 5% or greater.
<input type="checkbox"/> Trust	If the applicant is a trust, please provide the trust number _____ and name and address of the Trustee _____, _____, _____, as well as list below the names and address of all beneficiaries of the Trust, together with their respective interests in the trust. The application shall be further verified by the applicant in his capacity as trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the Trust

Name: Walden Winnetka LLC

 Address: ██████████

 Deerfield, IL 60015

 Ownership or Trust Interest: 100% %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: Please refer to Exhibit "B" as all members are the same

 Address: _____

 Ownership or Trust Interest: _____ %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %



11418 E Mission Ln
Scottsdale, AZ 85259
rick@rmswanson.com
Cell (847)757-3975

October 2019

Professional Biography

Richard M. Swanson AIA, NCARB

Mr. Swanson is an awarding winning architect and land developer with over 40 years of experience in design and real estate development of many successful projects throughout the country. He is currently the president of R.M Swanson Architects PC located in Lake Forest, Illinois and Managing Member of Swanson Development LLC. His design work has earned "signature" status in the real estate community, resulting in enhanced value to properties designed and developed by his firm. Mr. Swanson's impressive career in architectural design has been instrumental in establishing an aesthetic-conscience while respecting the cultural and environmental characteristics of the region. This philosophy has provided a key component to working proactively with stakeholders toward a responsible, attractive and, most importantly, successful result. He is a member of the American Institutes of Architects (AIA) and National Council of Architectural Registration Boards (NCARB).

Mr. Swanson has been featured in numerous print media including: Better Homes and Garden, Builder, Professional Builder, Architectural Digest, Home Plan, Chicago Tribune, Chicago Sun Times, North Shore and Chicago magazines. His firm designed Lovell's Restaurant for Apollo 13 Astronaut James Lovell and the award-winning McDonald's Restaurant and Forest Square Retail Centers, both in Lake Forest, Illinois. Mr. Swanson has been the recipient of the Gold Key and Crystal Key Awards and House of the Year Award from Professional Builder Magazine. He was also the first recipient of the Historic Preservation Award given by the Historic Preservation Society of Lake Forest. Mr. Swanson also served as Chairman on several architectural review boards to ensure that design integrity is consistent with the aesthetic character of the corresponding community

Mr. Swanson has developed some of the most desirable properties in the North Shore communities of Chicago, including Evergreen, Windridge, Biltmore, Arbor Ridge, Everett Farm. The Everett Farm project was the first successful collaboration of a land preservation group and developer, which has become one of the more popular and successful examples

of “conservation development” to date. It is routinely used as a model of how preservation of open space can be a benefit to development if implemented creatively and sensibly. Almost all the projects Mr. Swanson has been involved have offered some level of sustainable and/or “green” components to add marketability and provide responsible stewardship.

Mr. Swanson graduated from the University of Illinois, Champaign Urbana in 1979 with a Bachelors of Science degree. He began his architectural career in High School when his drafting teacher hired him part time to help prepare architectural plans for local builders. By the time he started college, he had already gained a comprehensive knowledge of basic structure and design principals. He interned through school with Olson & Associates Architects and several years after with Johnson Architects Ltd overseeing large residential projects and the planning of large-scale land parcels throughout the country. Upon completing his licensure exam, he started R. M. Swanson & Associates, initially designing luxury residences for wealthy clients and celebrities. His first project was to design a home for Chicago Bears running back, Walter Payton, which opened the door for other sports figure clientele.

In 1984, Mr. Swanson gained exposure to the development side of the profession when he was introduced to a distressed property in Lake Forest, Illinois. Like many affluent communities, the City had a more restrictive entitlement process. The project was approved with unanimous support and resulted in the successful sale of all of the building lots within 3-months. This led to numerous other opportunities including the master planning of the West Lake Forest TIF District, which is now fully developed, and thriving. Since then, Mr. Swanson has successfully developed numerous residential, multi-family, commercial and industrial projects in the Chicago area and elsewhere. From 2001 to 2008, R. M. Swanson & Associates’ staff grew to 25 talented individuals, all with specialized skills in design, land planning, real estate, governmental processes and commercial finance. The team was involved in the master planning and entitlement of large land tracts in California, Arizona, Utah, Colorado, Florida, Texas, Wisconsin and Illinois. After the housing and financial crisis of 2008-2010, Mr. Swanson provided consulting services to lenders holding distressed properties to provide triage to woefully distressed assets and determine the appropriate courses of action.

During that same period, Mr. Swanson has actively pursued health care and need-driven development projects such as specialized multi-family housing. His most ambitious venture has been to establish a design program and implement development of a community for adults with developmental disabilities including autism and other spectrum related disorders. His planned Watercolors Assisted Living Community will address this sadly underserved and ever growing need for safe, appropriate and dignified housing for this segment of the population. Mr. Swanson has established an alliance with relevant interest groups around the country and is now considered one of the few experts for design of this unique housing type. The first community is planned for the suburbs outside of Anne Arbor, MI.

Most recently, Mr. Swanson has focused on in-fill projects throughout the North Shore communities in the Chicago area. These include very desirable, high barrier-to-entry communities in the Midwest. All of Mr. Swanson’s current projects have been approved or in consideration for formal approval.

The following is a partial list of projects with a brief description of each:

Residential Developments:

- Evergreen - 134-acre development of 53 luxury single-family homes in Lake Forest, IL offering an average 5,000 to 6,000 square feet of living space. RM Swanson

- installed all improvements and sold 38-lots to custom builders. The remaining lots were sold as design/build packages to homeowners. Completed 1986
- Arbor Ridge – Development of 95, ½-acre lots in Lake Forest, IL for luxury homes with an average of 3,800 square feet of living area. 54-lots were pre-sold to custom builders in one afternoon. All improvements were installed & 100% of the lots closed within 6-months. RM Swanson designed and built 15-homes. Completed 1989
 - Windridge - 42-acre development of 30 lots to accommodate 6,000 to 7,000 square foot luxury homes. RM Swanson designed all of the homes and built 12 of the homes. Completed 1991
 - Meadow Wood – Development of 15 luxury homes in Gurnee, IL. All of the homes were designed and built by RM Swanson. Completed 1987
 - Aberdare Estates – 40-acre wooded parcel entitled & developed as 64, ½ acre residential lots in Gurnee, IL of luxury homes with an average of 4,000 square feet. The project was the Host of the 1994 Parade of Homes. One-quarter of the homes were designed & built by RM Swanson and the remaining sold to custom builders & consumers. Completed 1995
 - Spruce Point – 20-acre property entitled for 12, 1/3-acre residential development lots in Gurnee, IL. All lots sold to a local builder upon recording of the Plat. Complete 1995
 - Emerald Ridge – 40-acre wooded property entitled for a 34-lot subdivision located in Lindenhurst, IL. One-third of the homes were designed & built by RM Swanson. The remaining were sold to builders & homebuyers. Completed 1993
 - Laurel Avenue Condominiums - 36-luxury condominium units designed and constructed by RM Swanson on a 3/4-acre site in downtown Lake Forest, IL. All units were sold within 12-months due to the attractive location and close proximity to conveniences. Completed 1998
 - Everett Farm – 40-acre property entitled & developed as a 22 lot subdivision located in Lake Forest, IL. Developed with Lake Forest Open Lands to preserve 70% green space. All but 4 of the homes were designed and built by RM Swanson. Completed 2000
 - Biltmore - 20-acre property entitled and developed as 5, 2½-acre lot subdivision. All homes were designed and built by RM Swanson. Completed 2002
 - Mettawa Woods - 20-acre wooded property entitled & developed as 8, 1½-acre home sites in Mettawa, IL. All of the lots were sold to custom builders. Completed 2003
 - Amberley Woods – 40-acre property located at IL Rt. 60 and Saunders Road in Lake Forest, IL. Master Planned and Developed as a mixed use of commercial and residential. 10-acres of commercial, 24 single-family lots & 92 multi-family condominium units. Completed 2005
 - The Vue Orlando - 35-story, 323-unit condominium project in downtown Orlando, FL with 6,000 sf of retail space and 3,000 sf health club. Westminster Partners LLC with RM Swanson as a member completed the project. The project is complete and considered one of the premier properties in downtown Orlando. Completed 2006

Entitlement Projects:

- Wauconda Orchards – 300-unit residential project in Wauconda, IL. 60-acre orchard property entitled for 145 single-family and 66 multi-family town home units. Property was sold at preliminary approval to a national homebuilder. Approved 1999
- Liberty Grove – 38-unit, 'empty nester' project in Libertyville, IL. 24-acre property entitled for 18 single family, cluster homes and 30 multifamily town home units. Sold to a local builder upon the recordation of the Plat. Approved 2000

- Blue Oak Glen – 4 lot residential project in Monte Sereno, CA. Purchase of 4-acre property with existing home (teardown). Entitled and sold to local builders during dot.com boom. Approved 2003
- Bridges of Los Altos – 28-unit residential project in Los Altos, CA. 18-acre church property entitled as 28 upscale cluster homes (ave. 2,800 sf). Sold at preliminary approval to local builder. Approved 2003
- Lakemoor Village Square – 600-acre parcel comprised of 1,200 residential units and 29-acres of commercial. Project received preliminary approval and went under contract with several national builders. All of the builders terminated their agreements in 2007 upon the downturn in the real estate market.
- Lindenhurst Village Green- 230-acre parcel comprised of 60-acres of commercial “town center” development and 800 residential units. Project was sold to Oliver/McMillan to develop upscale shopping venue. 70% of the single-family lots were under contract with Horton, which ultimately, did not close due to the 2007 downturn.
- Pearland Town Center (Pearland, Texas) - 400-units of multi-family with 62 units above retail. Strategic alliance with May Realty Group to entitle PUD in a mixed-use urban community.
- Bristol Meadows – 320-acre parcel comprised of 359 residential units, senior living and a commercial area to create a downtown identity for the Bristol, Wisconsin community. This included a large park area attached for recreational purposes. Property received preliminary approval and is awaiting recovery of the real estate market in this area.
- Manatee Forest - 155-acres in Parrish, FL. Entitled for 155-single-family lots clustered for luxury residential homes averaging 4,000 sf. Project received preliminary approvals and was under contract with a local builder group to close at recordation of the Plat. Development put on hold due to economic downturn in 2007.
- Tall Grass Subdivision – in Prairie Grove, Illinois. 280-acre property entitled as 480 residential units and 30-acres of commercial. Received preliminary approval in 2006 and was under contract with Ryland Homes to close upon recording of the Plat. Ryland walked away from this project due to the pending financial crisis.
- Wildflowers Subdivision - 1,300 residential units and 110-acres of commercial in Prairie Grove, Illinois. The project included creation of town identity for the community including an approved Metra Train station and town center with a Village Hall. All entitlements were granted and most of the residential sites were under contract with KB Homes to close in fall of 2007. KB terminated the purchase due to the economic downturn and forfeited a large deposit. The property remains approved as designed and ready for development.
- Elk Meadows – 200 units of residential on 1,600-acres of property in Glenwood, Colorado. 1,100-acres was set aside for conservation. Entitlements were granted and property was sold to an investor in 2006 that held until recently due to the economic downturn. The property is now being considered for a different product type to meet the current demand of this market.
- Rock Springs Ranch – 148 residential units in Riverside County, California. 250-acres of property entitled for ½-acre single-family lots in a “conservation” planned community for upscale homes. The property was sold at preliminary approval to an investor group.
- The Reserve at Hindeman Farms – 320 residential units in Buckeye, Arizona. 60-acre farm property entitled for 12,000 sf single-family homes and a 20-acre commercial center. The property was sold to an investor group at preliminary approval.

- Stonebridge – 210 residential units in Pleasant Prairie, Wisconsin. 120-acre property entitled for 1/3-acre, single-family lots to be sold to local builders that were responding to the significant influx of large corporations locating in this business friendly region. Project received final approval, but development put on hold due to the economic downturn in 2007.
- Forest View – 24 residential units in Wadsworth, Illinois. 1-acre single-family lots of which 20 were pre-sold to custom builders before entitlements were complete. RM Swanson installed improvements and 30% of the homes that were constructed. Average home size, 4,500 sf.
- Parkside Townhome Community- 54-rear loaded luxury townhomes in Libertyville, IL
- Woodland Chase Subdivision- 51-single family homes in Vernon Hills, IL
- Station Square- 72-unit townhome community next to the train station in Libertyville, IL
- Deer Trail Subdivision- 26-single family homes clustered around preserved open space in Long Grove, IL
- Heron Landing Development- Mixed-use development comprised of 312-rental apartments, senior care community and age-targeted single-family in Crest Hill, IL
- Willow Trace- 6-luxury flats in downtown Winnetka, IL

Commercial Projects:

- Conway Court – Completely renovated and 100 percent leased in 1989; property includes over 15,000 square feet of office and retail space. Located in the then emerging West Lake Forest business district.
- Industry Square – 20,000 square foot warehouse/office structure in Mundelein, IL.
- Liberty Square – development featuring four office and condominium units of 4,000 square feet each in Libertyville, IL.
- A.U.L. Insurance Building – 3-story, 20,000 square foot office building in Libertyville, IL.
- Gocky's Restaurant – 250 seat family restaurant in Lake Bluff, IL.
- Bank of Northern Illinois (Libertyville Branch) – Renovation of an existing 4,000 square foot building.
- Swanson Corners – Retail center located in Grayslake, IL.
- Radiation Therapy Center – Medical facility on the grounds of Condell Hospital in Libertyville, IL.
- McDonalds Restaurant – Design for a 2,800 square foot restaurant in Lake Forest, IL.
- Lovells of Lake Forest – 14,000 square foot restaurant in Lake Forest, IL.
- Entourage Restaurant – 15,000 square foot restaurant in Schaumburg, IL.
- Cornerstone Bank & Trust – 15,800 square foot bank facility in Palatine, IL
- Orange Leaf Frozen Yogurt stores
- Forest Square Office/Retail - 50,000 sf office above retail in Lake Forest, Illinois.
- Watercolors of Anne Arbor, Michigan – 54 unit assisted living community for adults with developmental disabilities. Scheduled for completion in 2018.
- Amberley Retail Village- A mixed use commercial development of high-end retail combined with a senior care community in Lake Forest, IL
- Chase Bank- redevelopment of an existing property in Lake Forest, IL
- Beeson Corners- Mixed-use commercial development of retail and luxury rental in Bannockburn, IL





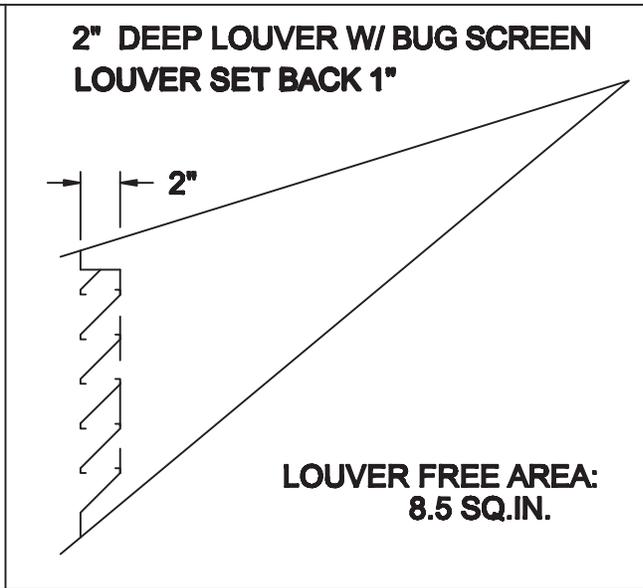
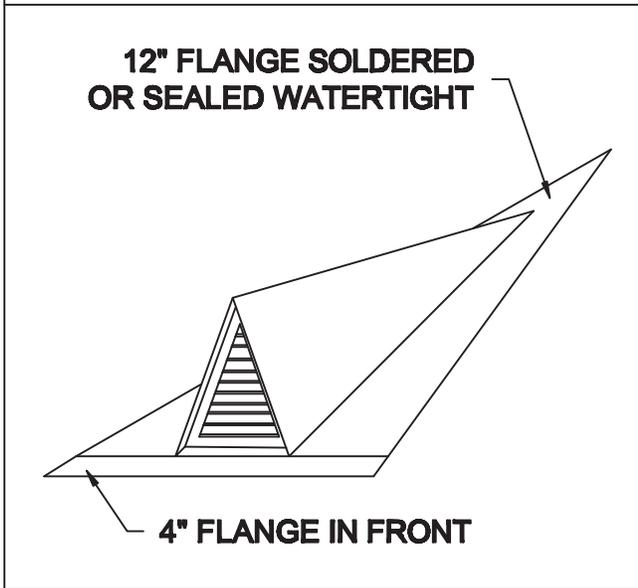
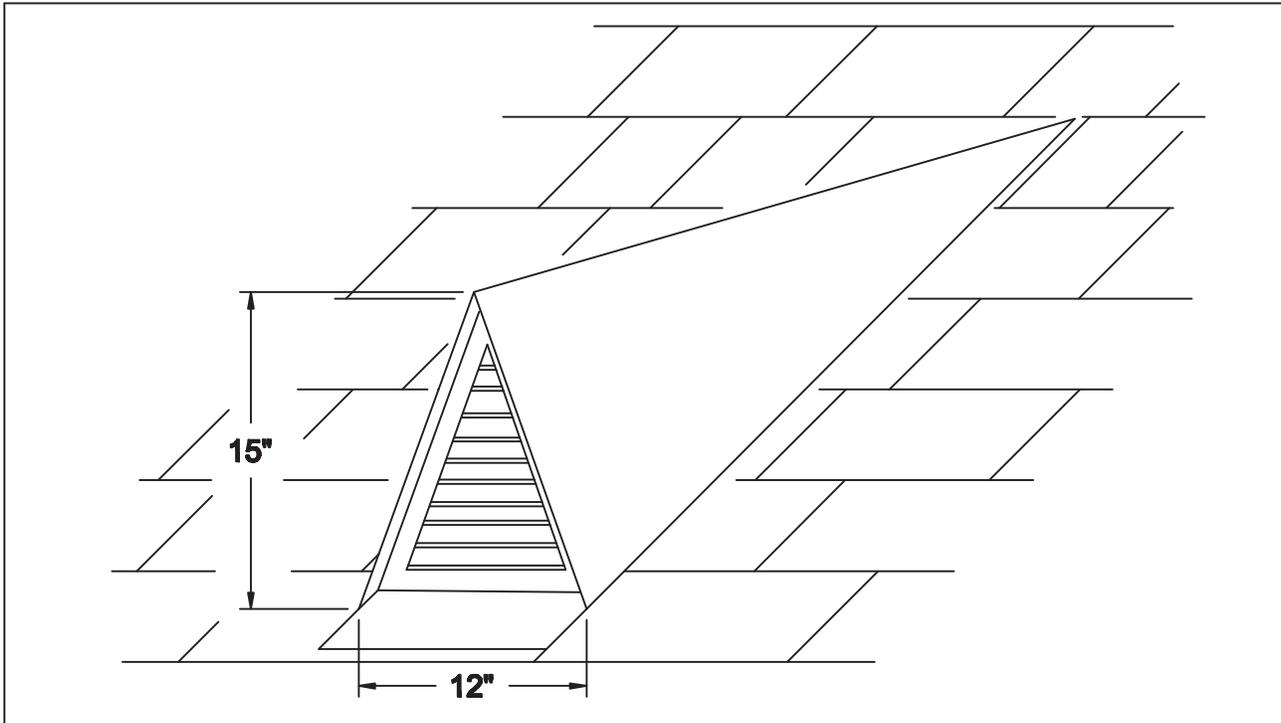








LOUVER DORMER BUTTERFLY



AVAILABLE MATERIALS
 COPPER ZINC/TIN COATED COPPER PREWEATHERED ZINC PATINA COPPER
 PAINT GRIP STEEL PREFINISHED ALUMINUM/ STEEL

REV. 7/14

INSTALLATION:

MARK OPENING IN ROOF DECK ON DESIRED COURSE. CUT OPENING IN DECK. POSITION DORMER OVER OPENING AND FASTEN TO DECK.

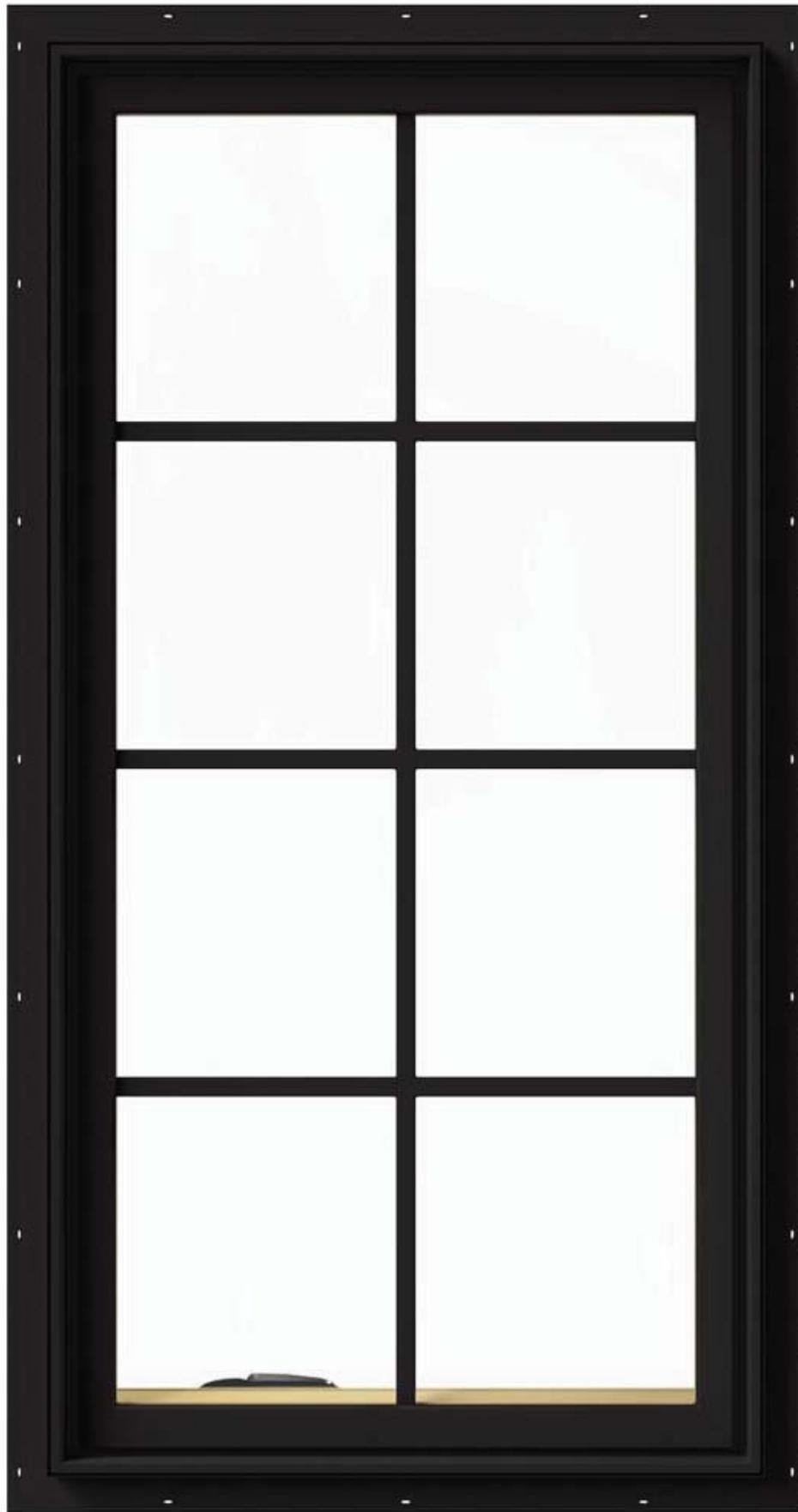
OTHER INFORMATION:

SPECIFY EXACT ROOF PITCH.

OTHER:

INCLUDES INSECT SCREEN OF COMPATIBLE MATERIAL.





Proposed Casement Window: Simulated Divided Lite
Clad (black frame) Double Glazed Insulated



Manufacturer: Da Vinci Roofscapes Inc

Product: Synthetic Slate Roof

Color: Slate Gray

Size: 6", 9" & 12" random widths with 8" exposure



Supplier: Swake Stone

Product Name: Garret's Blend

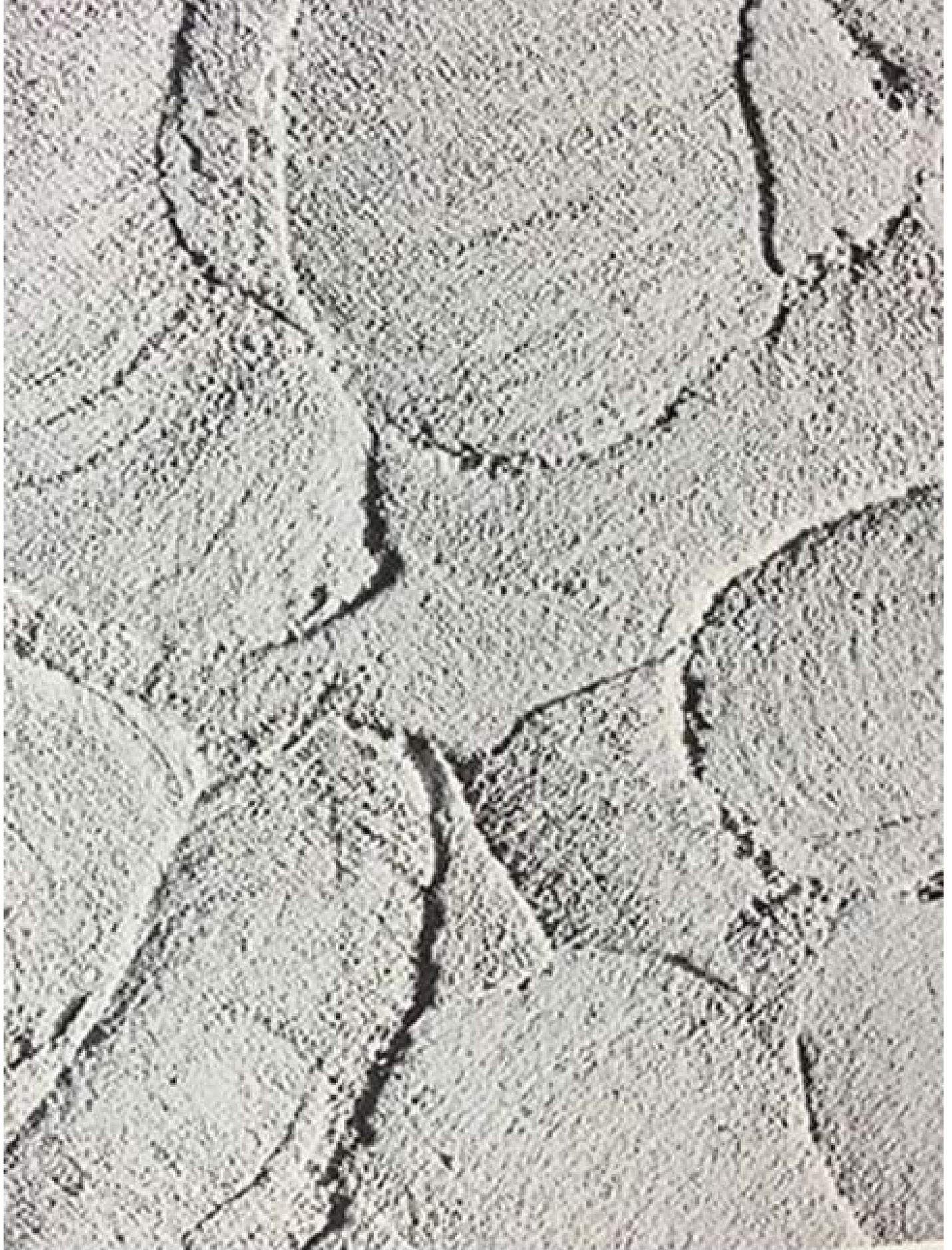
Pattern: Ashlar with regular mortar (bag finish)



East Coast Weathervane 36" tall Finial "The Alexander"



PROPOSED FACE BRICK: GENERAL SHALE "WAKE MANOR"



Proposed Stucco Color & Finish

Agenda Item 5 - Page A29



The proposed wrought iron rail will be similar in color and design including meeting all requirements for height and structural support

FOUNDRY CLASSIC

10231TK

SMALL GOOSENECK BARN LIGHT

Decidedly industrious, Foundry is reinventing purposeful lighting. Focused and direct, the sturdy aluminum shade features knurled brass details to offset the Gloss White, Museum Bronze or Textured Black finish while casting a uniform light. The simple, understated form plants a vintage aesthetic for both inside and outside spaces while offering mix and match options that customize the look.



DETAILS	
FINISH:	Textured Black
MATERIAL:	Aluminum

DIMENSIONS	
WIDTH:	9.5"
HEIGHT:	9.1"
WEIGHT:	5 lbs.

LIGHT SOURCE	
LIGHT SOURCE:	Socket
WATTAGE:	1-100w Med.
VOLTAGE:	120v

SHIPPING	
CARTON LENGTH:	16"
CARTON WIDTH:	16"
CARTON HEIGHT:	16"
CARTON WEIGHT:	8 lbs.

PRODUCT DETAILS:

- Mounting hardware is hidden on the backplate to ensure a clean silhouette.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- 2 year finish warranty
- Classic lines and heritage details complement traditional architecture
- Striking black finish enhances design



RALEY

1602MB-LL

LARGE HANGING LANTERN

Raley's regal appearance features cast aluminum construction, a bold Museum Black finish, flourishing details and clear water glass panels for a dignified style statement.

DETAILS	
FINISH:	Museum Black
MATERIAL:	Cast Aluminum
GLASS:	Clear Water Glass Panels

DIMENSIONS	
WIDTH:	11.8"
HEIGHT:	27.5"
WEIGHT:	14 lbs.

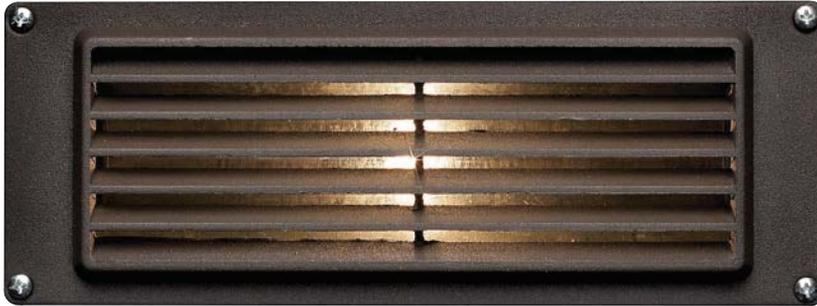
LIGHT SOURCE	
LIGHT SOURCE:	LED Lamp Included
LED NAME:	E12LED-5
WATTAGE:	4-5w Cand. LED *Included
VOLTAGE:	120v
COLOR TEMP:	2700.0000k
LUMENS:	1400
CRI:	80
INCANDESCENT EQUIVALENCY:	4-40w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.

MOUNTING	
CANOPY:	5.5" Dia.
LEAD WIRE:	72"

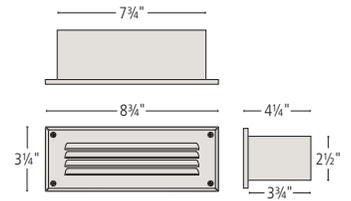
SHIPPING	
CARTON LENGTH:	15"
CARTON WIDTH:	15"
CARTON HEIGHT:	26"
CARTON WEIGHT:	20 lbs.

PRODUCT DETAILS:

- This chain or cable hung fixture may be installed on any sloped ceiling.
- Suitable for use in damp (interior moist and outdoor no direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- 2 year finish warranty
- LED Lamps carry a 3-year limited warranty
- Classic lines and heritage details complement traditional architecture
- Striking black finish enhances design



1594 BZ
1594 BZ-LED
 LOUVERED BRICK LIGHT
 8¾" W, 3¼" H, 4¼" D



1594 MZ
1594 MZ-LED
 HARDY ISLAND™
 LOUVERED BRICK LIGHT
 8¾" W, 3¼" H, 4¼" D



LED ITEM	LED ENGINE (INCLUDED)	LED WATTAGE/ VOLT AMPS	INCANDESCENT EQUIVALENCY	ITEM	LAMP (INCLUDED)	WATTAGE	LED LAMP (NOT INCLUDED)	FINISH	CONSTRUCTION	GLASS LENS
1594 BZ-LED	NX3	3.8w / 5.7VA	25w	1594 BZ	912	12w	T5 LED	Bronze	Galvanized Steel Housing Cast Aluminum Faceplate	Clear
1594 MZ-LED	NX3	3.8w / 5.7VA	25w	1594 MZ	912	12w	T5 LED	Matte Bronze	Galvanized Steel Housing Solid Brass Faceplate	Clear

See pages 82-83 for LED conversion lamps. A wiring kit is supplied. For accessories, see pages 78-79. For transformers, see pages 76-77.

PHOTOMETRICS (BASED ON VARIOUS MOUNTING HEIGHTS)

DISTANCE FROM LIGHT		LED ITEM	1'	2'	3'	4'	5'	6'	7'	8'	ITEM	1'	2'	3'	4'	5'	6'	7'	
FOOT CANDLES	6" Mounting	1594 BZ-LED	37.1	11.83	3.06	1.55	1.07	0.85	0.71	0.6	1594 BZ	0.90	0.50	0.23	0.03				
	18" Mounting		0.58	1.19	4.1	2.03	2	1.46	0.87	0.49		0.99	0.73	0.55	0.37	0.17	0.08		
	30" Mounting		0.11	0.27	0.45	0.97	1.55	0.84	0.74	0.74		0.52	0.43	0.36	0.28	0.20	0.16	0.10	
	6" Mounting	1594 MZ-LED	3.07	0.74								1594 MZ	2.19	0.53					
	18" Mounting		1.40	0.32	0.25	0.20					1.00		0.21	0.18	0.14				
	30" Mounting		0.97	0.45	0.42	0.22	0.07				0.69		0.32	0.31	0.05	0.14			



5" IC NEW CONSTRUCTION HOUSING IC20 LEDT24

COMPATIBLE WITH
5RLD SERIES



Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

PRODUCT DESCRIPTION

IC Air-Loc® New Construction Housing for use with Juno retrofit LED trim modules • Energy efficient, sealed housing • Can be completely covered with insulation • Fully sealed housing stops exfiltration of air, reducing heating and air cooling costs without the use of additional gaskets.

PRODUCT SPECIFICATIONS

Electrical Connections Features non-screw base 120V plug-in connector • Compatible with Juno retrofit LED trim modules

Labels U.L. listed for U.S. and Canada for through-branch wiring and damp locations • Meets high efficacy requirements of California T24

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Specifications subject to change without notice.

INSTALLATION

Real Nail 3 Bar Hangers Telescoping Real Nail® 3 system covered under US Patent D552,969 permits quick placement of housing anywhere within 24" O.C. joists or suspended ceilings • Integral T-bar notch and clip secures housing in suspended ceiling grid – no accessory clips required • 24" expansion stop allows quick placement of fixture in standard grid spacing • Bars scored in two locations for fast, clean breaking, allowing housing installation in tight applications • Bars captive to mounting frame • Edge-mounted for extra strength • Captive bugle-headed ring shank nail for quick one-step installation and easy removal with claw hammer for fixture relocation • Quick-Loc slot (location identified on the mounting frame) and oversized locking set screw lock fixture in position • Bar hanger foot contoured to align to bottom of construction joist • Alternate mounting holes included.

Junction Box Pre-wired junction box provided with (5) 1/2" and (1) 3/4" knockouts, (4) Non-metallic sheathed cable connectors and ground wire, U.L. listed/CSA certified for through-branch wiring, maximum 8 No. 12 AWG 90° C branch circuit conductors (4 in, 4 out) • Junction box provided with removable access plates • Knockouts equipped with pryout slots.

Mounting Frame 22-gauge die-formed galvanized steel mounting frame • Rough-in section (junction box, mounting frame, housing and bar hangers) fully assembled for ease of installation • Sight lines embossed on mounting frame to allow for easy viewing when aligning fixtures.

Housing IC housing, .032" aluminum sealed for Air-Loc Compliance • Housing is vertically adjustable to accommodate up to a 1" ceiling thickness.

PRODUCT CODES

Catalog Number	Input Voltage
IC20 LEDT24	5" Incandescent New Construction IC Housing, 4" Quick Connect Housing 120V

Housing and trim can be ordered together or separate, but will always ship separately.

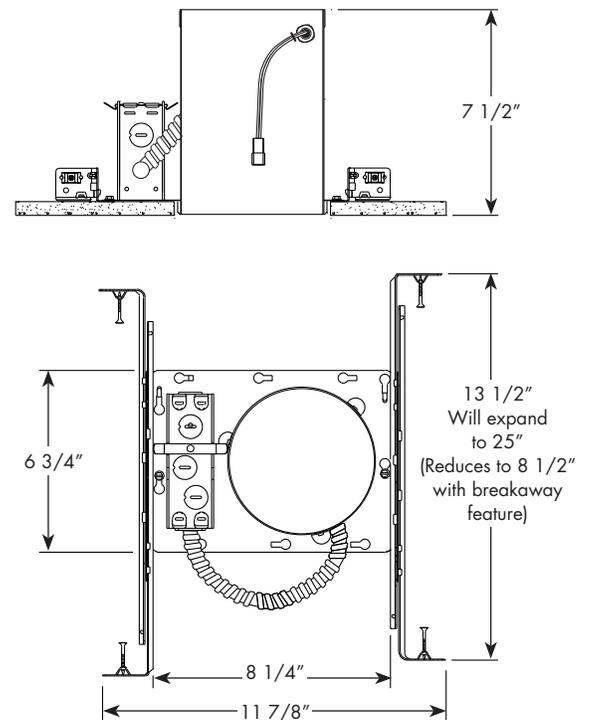
COMPATIBLE LED MODULES

Catalog Number	
5RLD G2 06LM 27K 90CRI 120 FRPC WWH	5" Juno Basics Retrofit Downlight, Generation 2, 600 Nominal Lumens, 2700K, 90+ CRI, 120V, Forward/Reverse Phase Cut, White with White Trim Ring
5RLD G2 06LM 30K 90CRI 120 FRPC WWH	5" Juno Basics Retrofit Downlight, Generation 2, 600 Nominal Lumens, 3000K, 90+ CRI, 120V, Forward/Reverse Phase Cut, White with White Trim Ring

Housing and trim can be ordered together or separate, but will always ship separately.



DIMENSIONS



5 5/8" CEILING CUTOUT



In-ground Stainless Steel Pathway Light (3W)

MODEL: AL-IG-PW-A21

DESCRIPTION

aspectLED's landscape LED lights are bright, energy efficient, and attractively styled, making them perfect for virtually any outdoor application. Ideal for installation along pathways, driveways, sidewalks, landscape edging, and other landscape/architectural features.

A favorite of our golf course, resort and public park customers, these stainless steel pathway lights features an ultra-bright 3W LED and their compact size make for easy installation in virtually any locations. These are designed to be installed with their top trim piece flush with your finished surface (grass, mulch, asphalt, etc.). Perfect for gardens, patios, landscaping, garden walls, building entrances, pathways, decks, gazebos, public parks, docks, and marine environments.

This fixture is available in several versions (single cutout, double cutouts on the same side, double cutouts on the opposite sides, and four cutouts). Withstands standard motor vehicle traffic (golf carts, cars, 3/4 ton pickup trucks). See photos for more details about cut-out options.

PHYSICAL DIMENSIONS + SPECIFICATIONS

	12VDC	24VDC	12VAC
Light Fixture Dimensions	3.5" Diameter 3.75" Deep 2.5" Cut out hole	3.5" Diameter 3.75" Deep 2.5" Cut out hole	3.5" Diameter 3.75" Deep 2.5" Cut out hole
LED Driver Input Voltage	12VDC	24VDC	12VAC
Dimmable	No	No	No
Nominal Power Consumption	3 Watts	3 Watts	3 Watts
Max Luminous Flux of LED Array	300 Lumens	300 Lumens	300 Lumens
LED Type	SMD LED Chips	SMD LED Chips	SMD LED Chips
LED Quantity	3 - High Power 1 Watt LEDs	3 - High Power 1 Watt LEDs	3 - High Power 1 Watt LEDs
Fixture Material	Stainless Steel	Stainless Steel	Stainless Steel
Lens	Optical, >85% efficient	Optical, >85% efficient	Optical, >85% efficient
Glass	Step-tempered glass	Step-tempered glass	Step-tempered glass
Waterproof Seal	Silicone Seal	Silicone Seal	Silicone Seal
IP Rating	IP65	IP65	IP65
Load Rating	1,760 psi	1,760 psi	1,760 psi
Fixture Weight	1.6 lbs	1.6 lbs	1.6 lbs
Estimated Lifespan	Up to 50,000 hours	Up to 50,000 hours	Up to 50,000 hours
Warranty	1 Year	1 Year	1 Year
Suitable Uses	Indoor/Outdoor, Dry, Damp or Wet Locations	Indoor/Outdoor, Dry, Damp or Wet Locations	Indoor/Outdoor, Dry, Damp or Wet Locations
Certifications	RoHS	RoHS	RoHS

CERTIFICATIONS



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DIMENSIONS



SKU BUILDER

Model Number

AL-IG-PW-A21

LED Color

[Empty selection box]

Voltage

[Empty selection box]

Wire Lead Length

[Empty selection box]

*This fixture is available in several versions (single cutout, double cutouts on the same side, double cutouts on the opposite sides, and four cutouts). Please specify cut-out choice when ordering fixture.

- Warm White - WW
- Cool White - CW
- DayWhite - DW
- Blue - B
- Green - G
- Red - R
- Yellow/Amber - Y
- RGB - RGB

- 12VDC
- 24VDC
- 12VAC

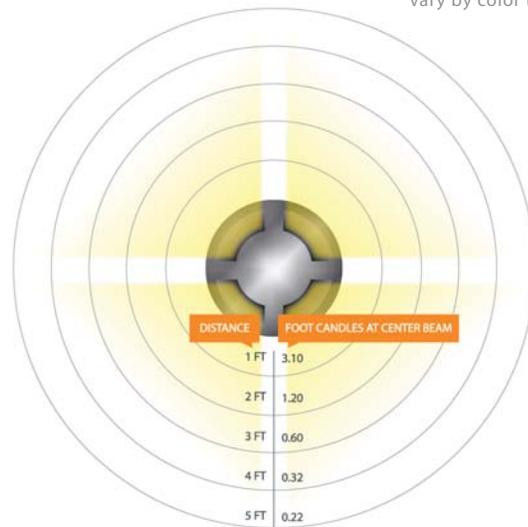
- 2 Feet - 2FT
- 25 Feet - 25FT
- 50 Feet - 50FT
- 100 Feet - 100FT

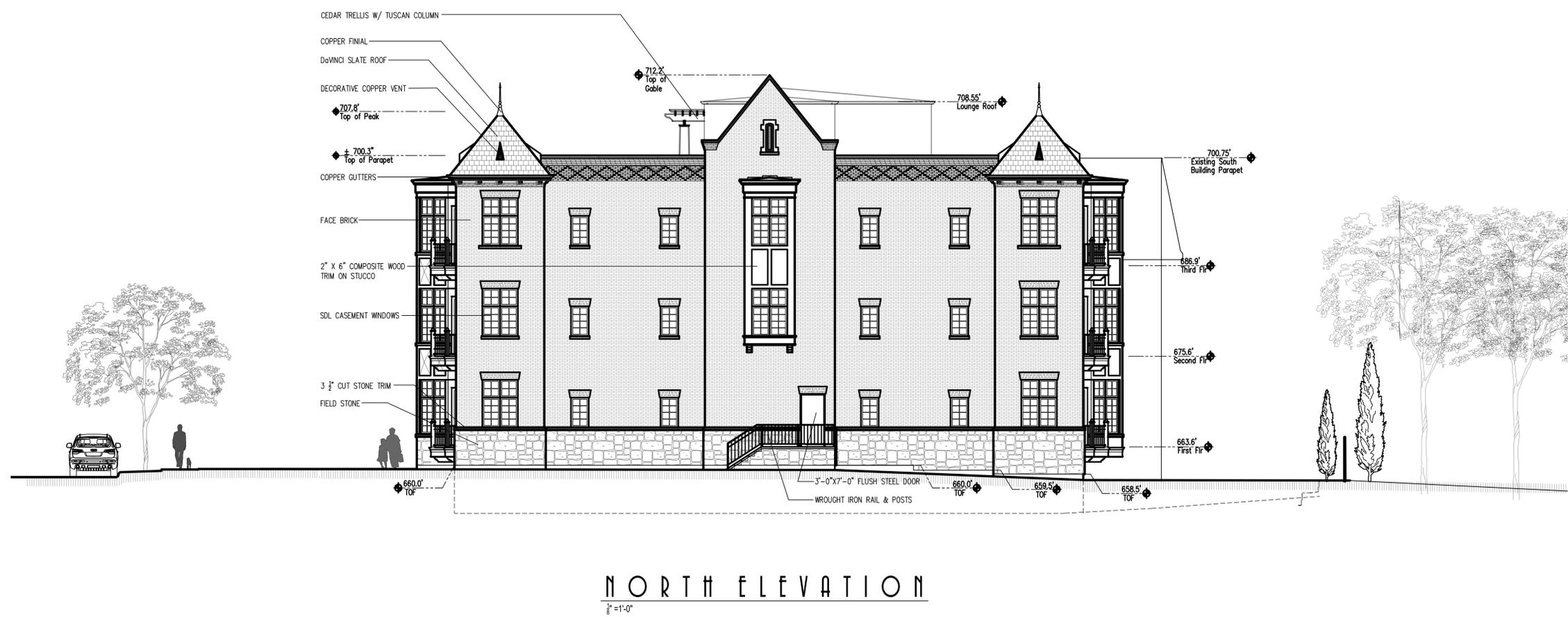
ACCESSORIES

- 30 Watt LED Power Supply**
SKU: AL-PS-W-30
Price: \$16.99
- 60 Watt LED Power Supply**
SKU : AL-PS-W-60
Price: \$25.99
- 100 Watt LED Power Supply**
SKU : AL-PS-W-100
Price: \$37.99
- Mounting Sleeve for AL-IG-A21**
SKU: AL-IG-A21-MS
Price: \$3.51

PHOTOMETRICS

*Cool white tested. Light output may vary by color temperature.





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THE WALDEN RESIDENCES

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JULIO A. VEGA

PREPARED BY:

DATE:

COMMENT:

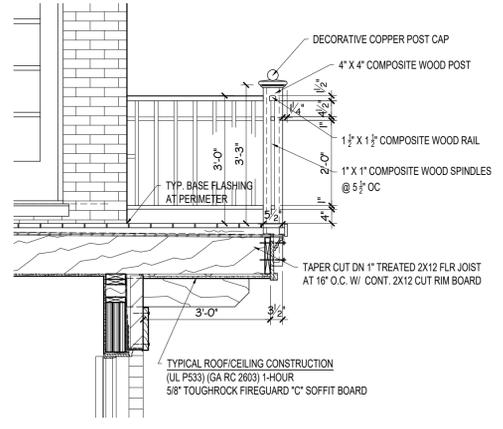
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SHEET **A1** OF **12**



EAST ELEVATION

3/8" = 1'-0"



SECTION AT BALCONY

3/8" = 1'-0"



WEST ELEVATION

3/8" = 1'-0"

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PLAN NO:
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SHEET OF
 A2 12



- COPPER GUTTERS
- CEDAR TRELLIS W/ TUSCAN COLUMN
- STUCCO
- COPPER FINIAL
- 708.55' Lounge Roof
- DaVINCI SLATE ROOF
- DECORATIVE COPPER VENT
- COPPER GUTTERS
- FACE BRICK
- COMPOSITE WOOD RAIL & POSTS
- 686.9' Third Flr
- 2" X 6" COMPOSITE WOOD TRIM ON STUCCO
- SDL CASEMENT WINDOWS
- 675.6' Second Flr
- 3 1/2" CUT LIMESTONE SILL
- FIELD STONE
- 663.6' First Flr
- 660.0' TOF 12'-0"
- 10'-6"

- 712.2' Top of Gable
- 700.75' Existing South Building Parapet
- ± 700.3" Top of Parapet
- 40'-8"
- 36'-6"
- 48'-6"
- 660.5" TOC 6'-0"
- 661.0' TOF 20'-0"

688 GREENBAY RD

698

EAST ELEVATION

1/8" = 1'-0"

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 SHEET OF
A3 OF **12**



WEST ELEVATION

1/4" = 1'-0"

Y BAY RD

- STANDING SEAM METAL ROOF
- 3'-0" X 7'-0" FLUSH STEEL DOOR
- COPPER GUTTERS & DOWNSPOUTS
- STUCCO
- COPPER FINIAL
- 712.2'
Top of Gable
- DaVINCI SLATE ROOF
- DECORATIVE COPPER VENT
- + 700.3'
Top of Parapet
- COPPER GUTTERS
- FACE BRICK
- COMPOSITE WOOD RAIL & POSTS
- 2" X 6" COMPOSITE WOOD TRIM ON STUCCO
- SDL CASEMENT WINDOWS
- 3 1/2" CUT LIMESTONE SILL
- FIELD STONE

- + 700.75'
Top of Parapet
Top of Ridge

663.6'
1ST FLR

658.5'
TOC

657.0'
TOC

654.0'
TOF

3'-0" X 7'-0" INSULATED FLUSH STEEL DOOR W/ STEEL FRAME

16'-0" X 8'-0" CARRIAGE STYLE OVERHEAD GARAGE DOOR

CONC. WING WALL

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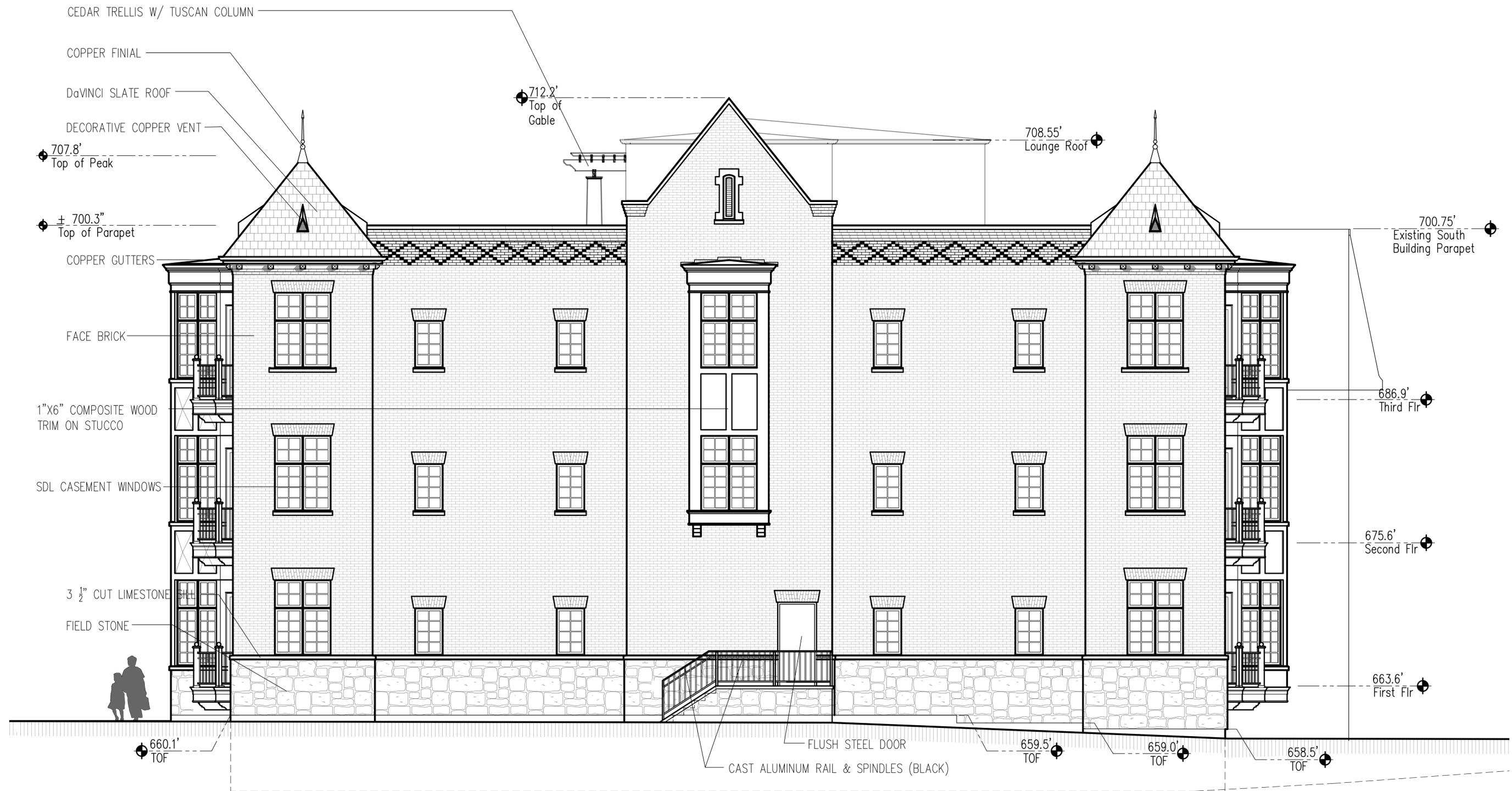
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SHEET OF
A4 12



NORTH ELEVATION

1/4" = 1'-0"

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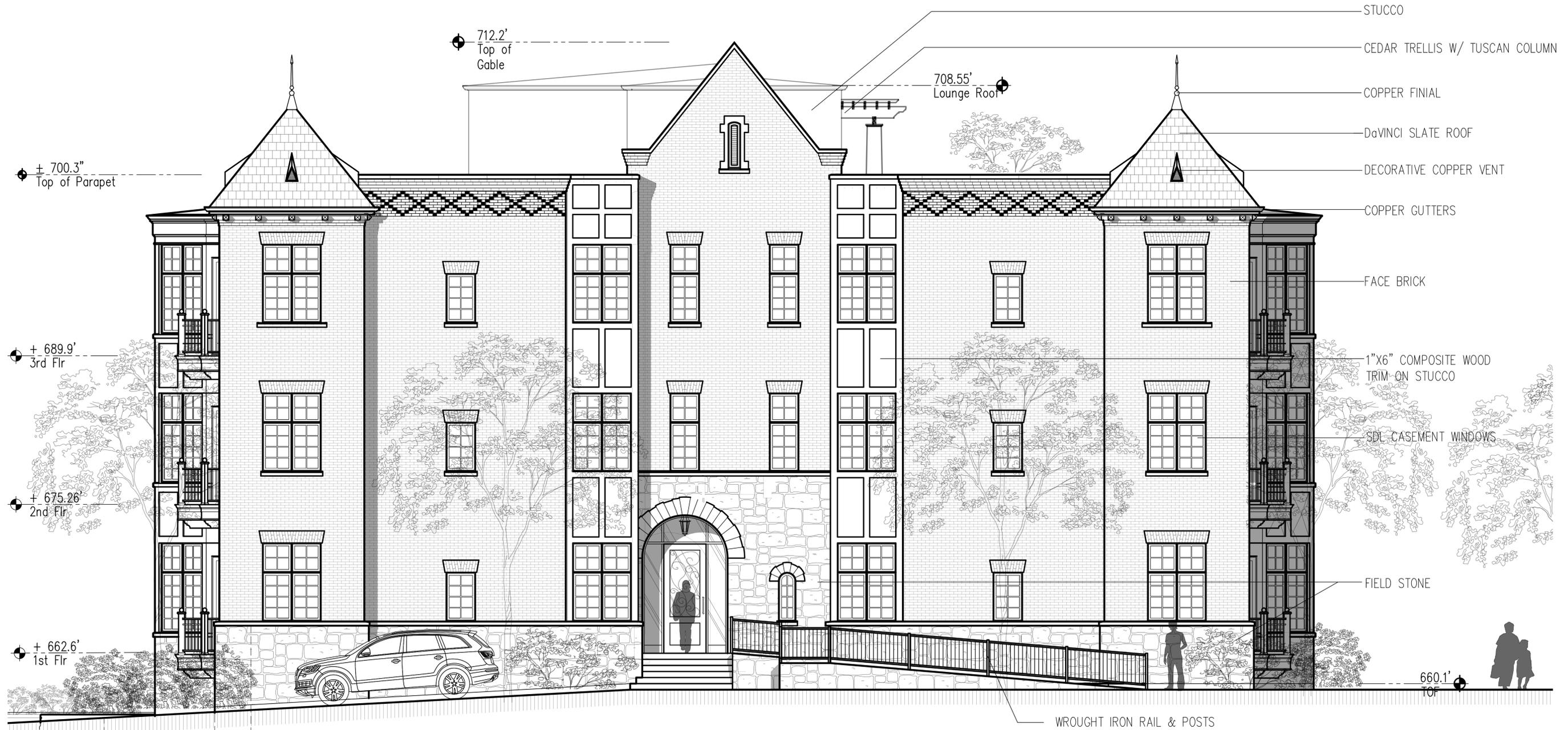
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SOUTH ELEVATION

1/4" = 1'-0"

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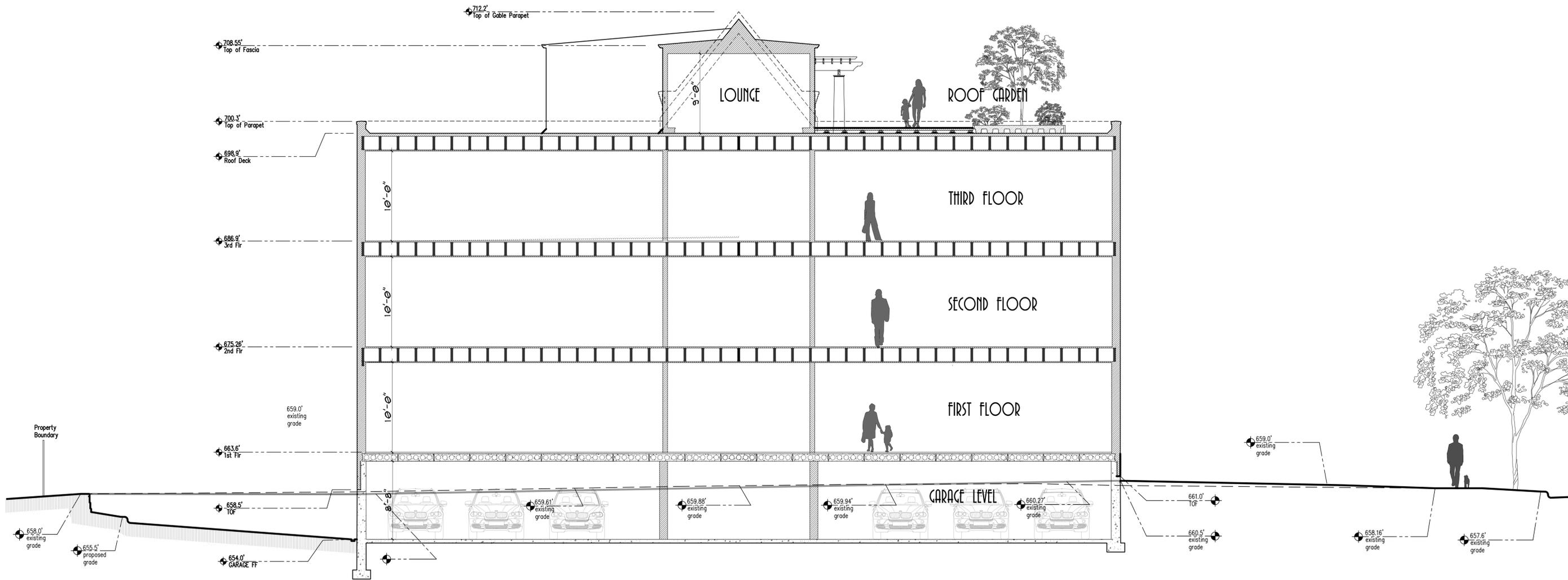
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SHEET OF
A6 12



CROSS SECTION BUILDING & SITE
WEST TO EAST

1/8" = 1'-0"

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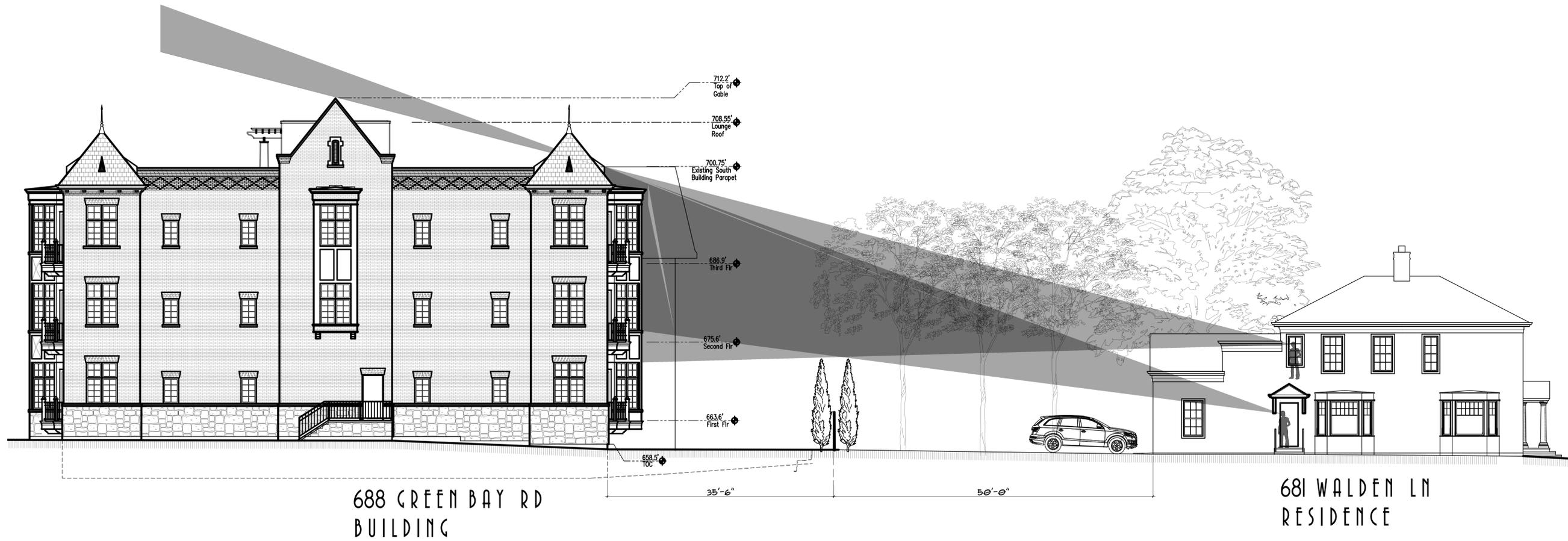
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LINE OF SIGHT STUDY

1/8" = 1'-0"

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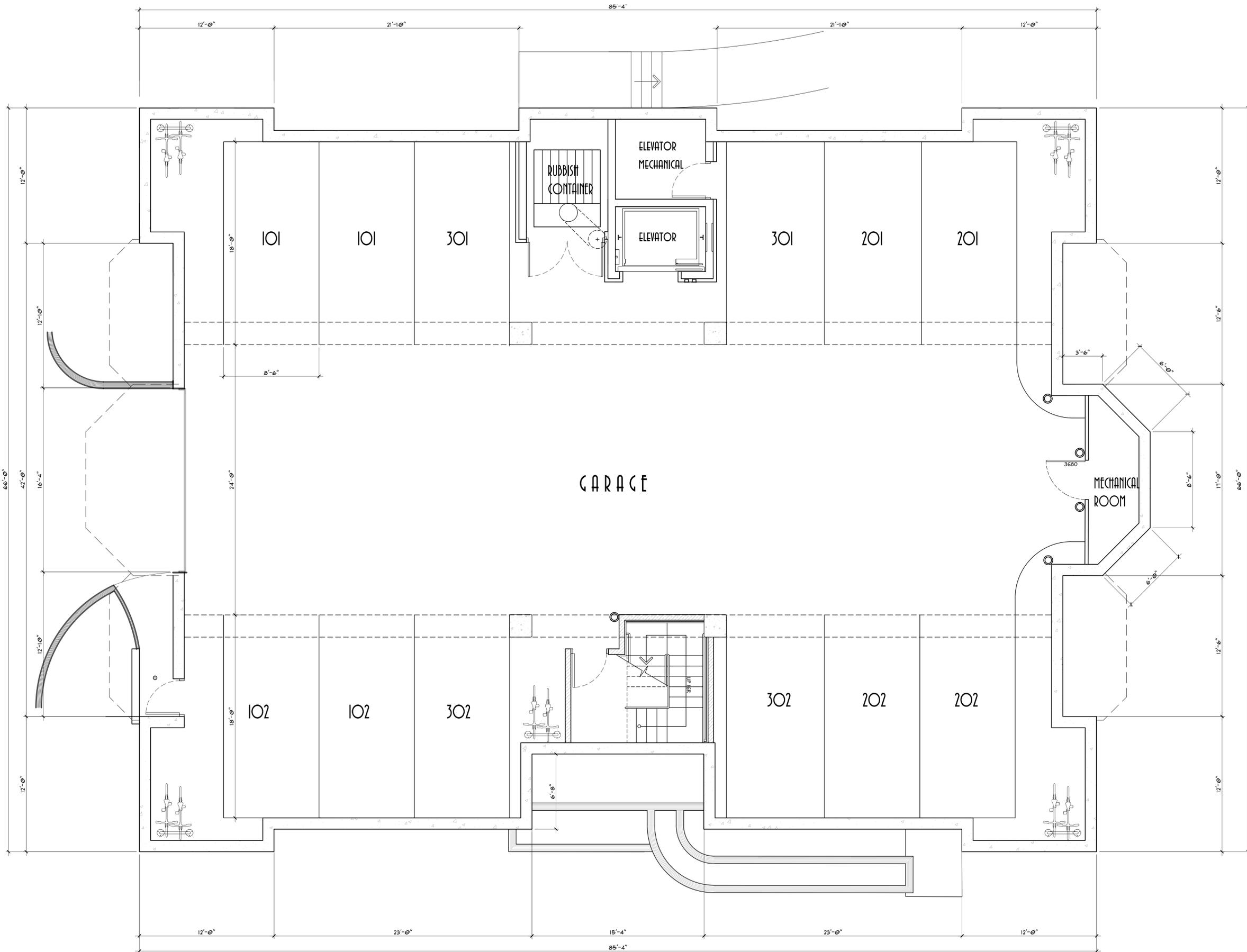
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SHEET OF
 SV1 1



GARAGE FLOOR PLAN

1/4" = 1'-0"

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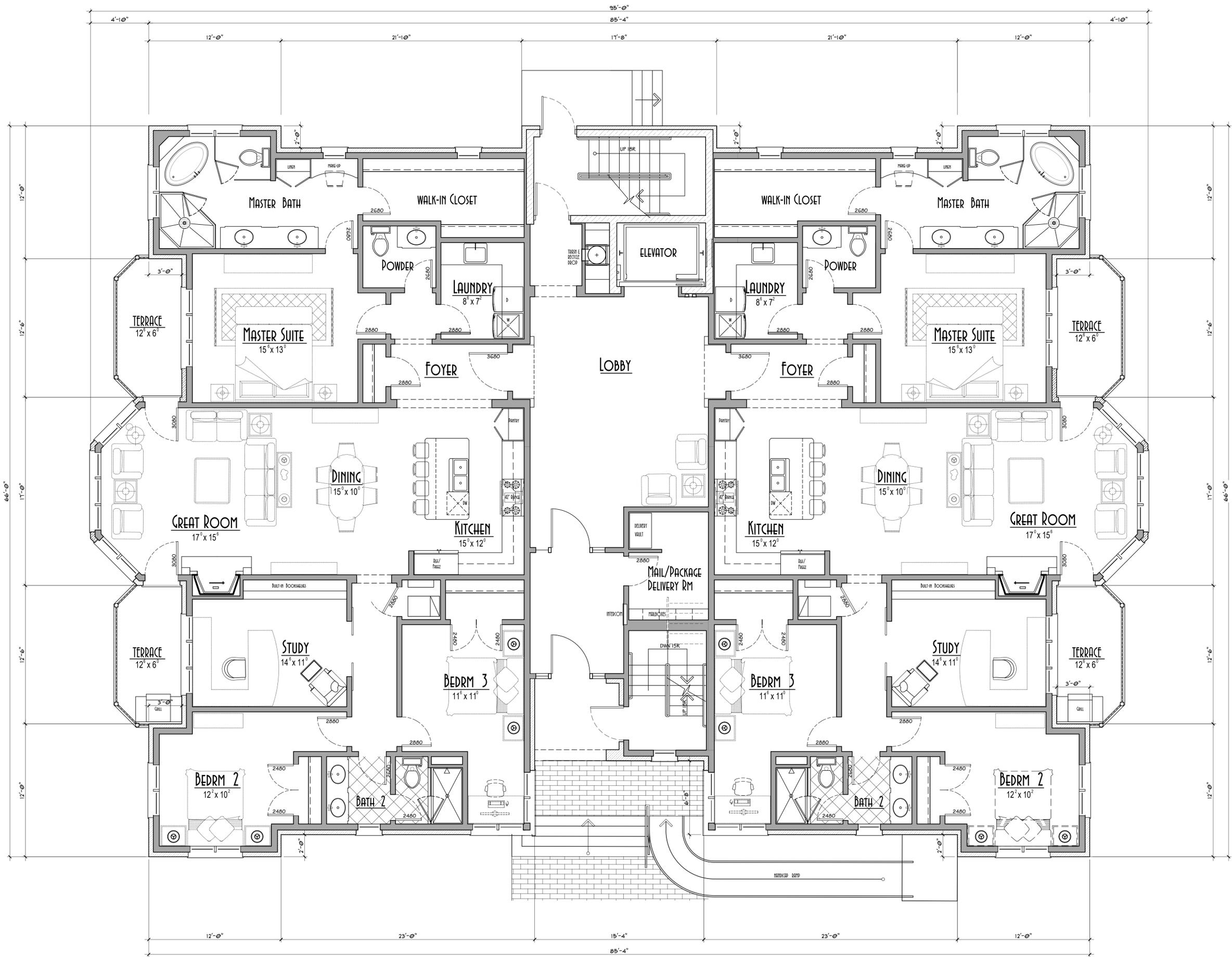
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SHEET OF
A7 12



FIRST FLOOR PLAN

1/4" = 1'-0"

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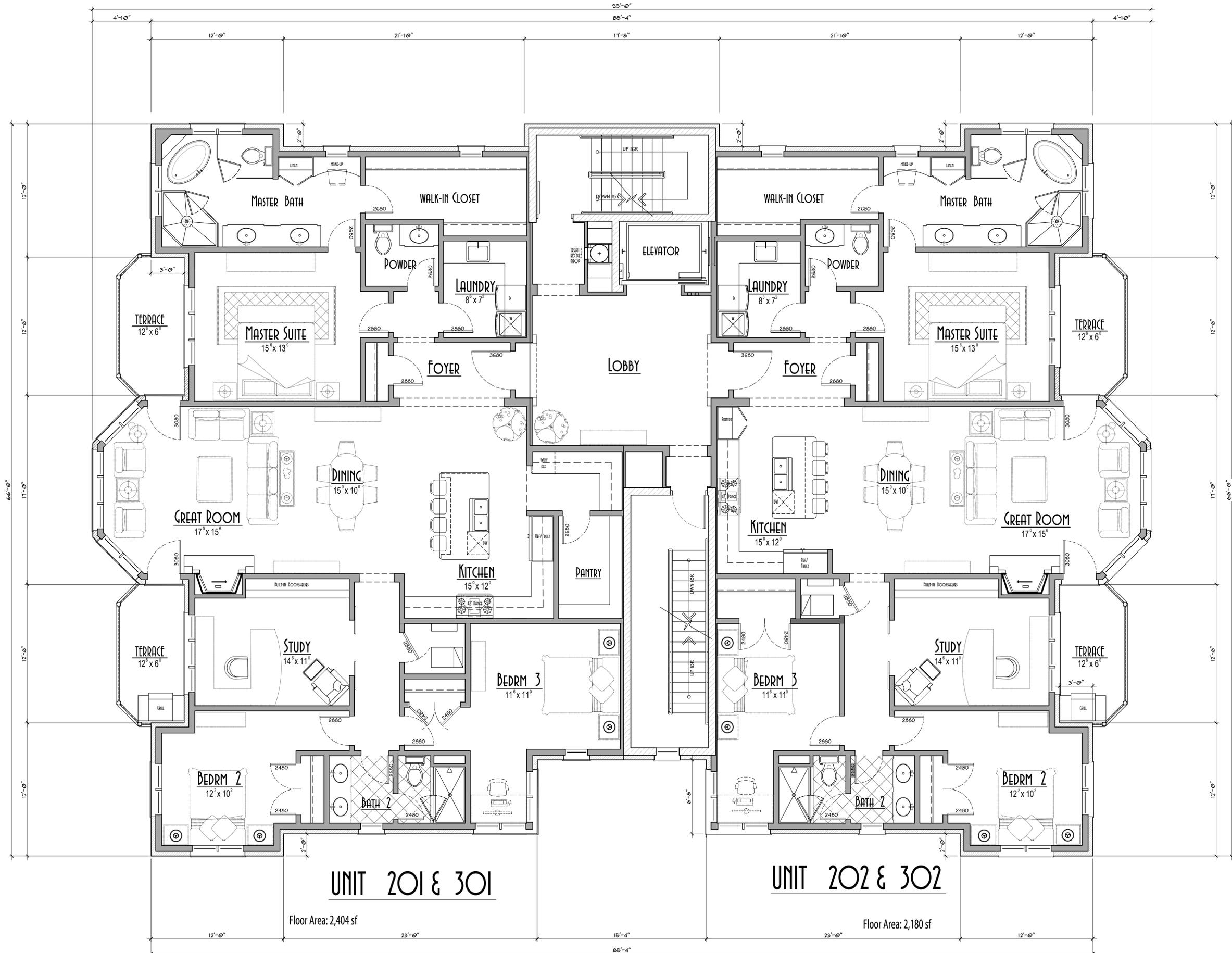
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SHEET **A8** OF 12



UNIT 201 & 301

Floor Area: 2,404 sf

UNIT 202 & 302

Floor Area: 2,180 sf

SECOND FLOOR PLAN

1/4"=1'-0"

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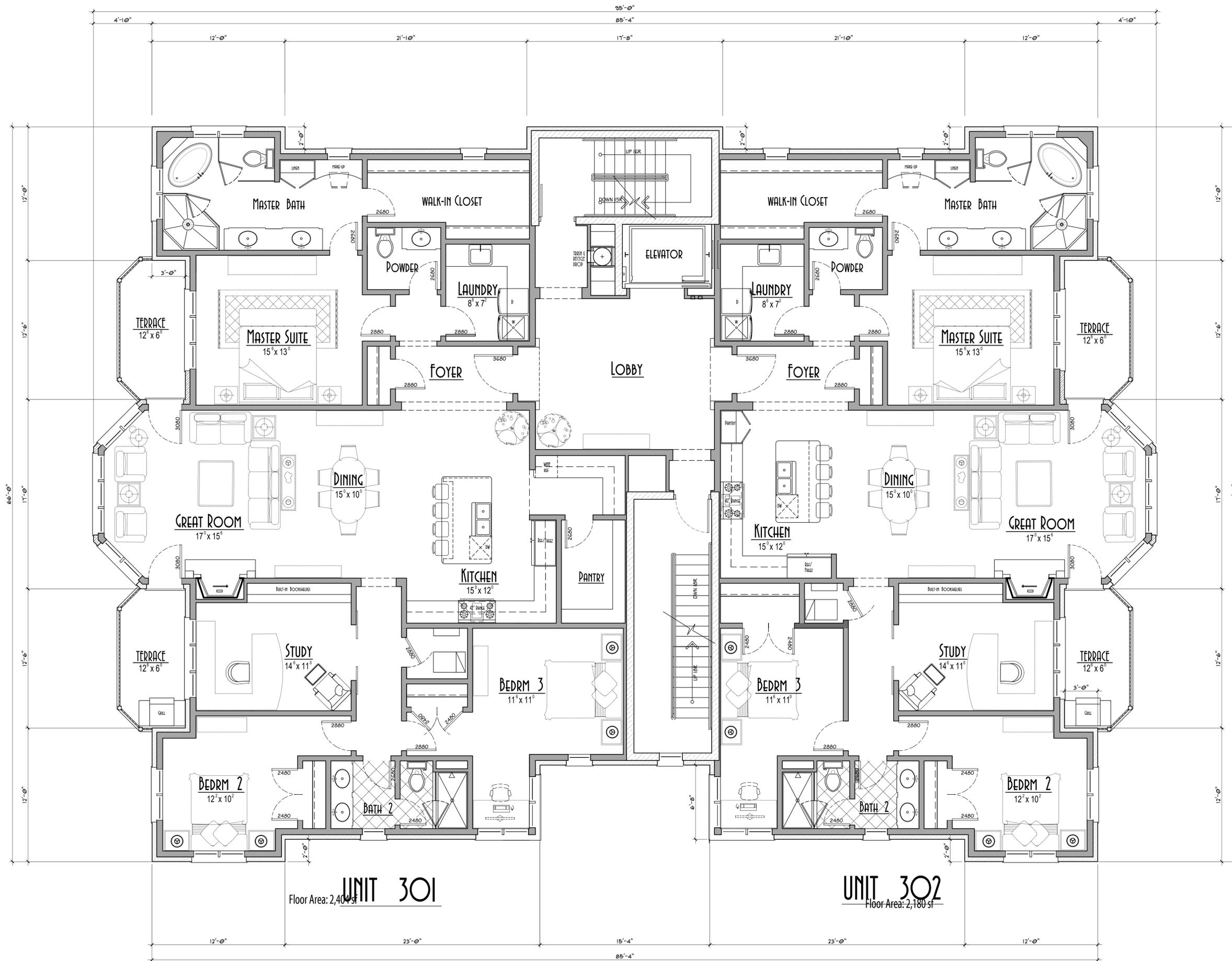
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SHEET **A9** OF **12**



UNIT 301
Floor Area: 2,404 sf

UNIT 302
Floor Area: 2,180 sf

THIRD FLOOR PLAN

1/8" = 1'-0"

GENERAL NOTES FOR THIS SHEET

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PROFESSIONAL DESIGN FIRM #184-003936
THE WALDEN RESIDENCES
 688 GREEN BAY ROAD
 WINNETKA, ILLINOIS

R.M. SWANSON ARCHITECTS
 1930 AMBERLEY CT OFFICE: 847.571.3975
 LAKE FOREST, IL 60045 rick@rmswanson.com

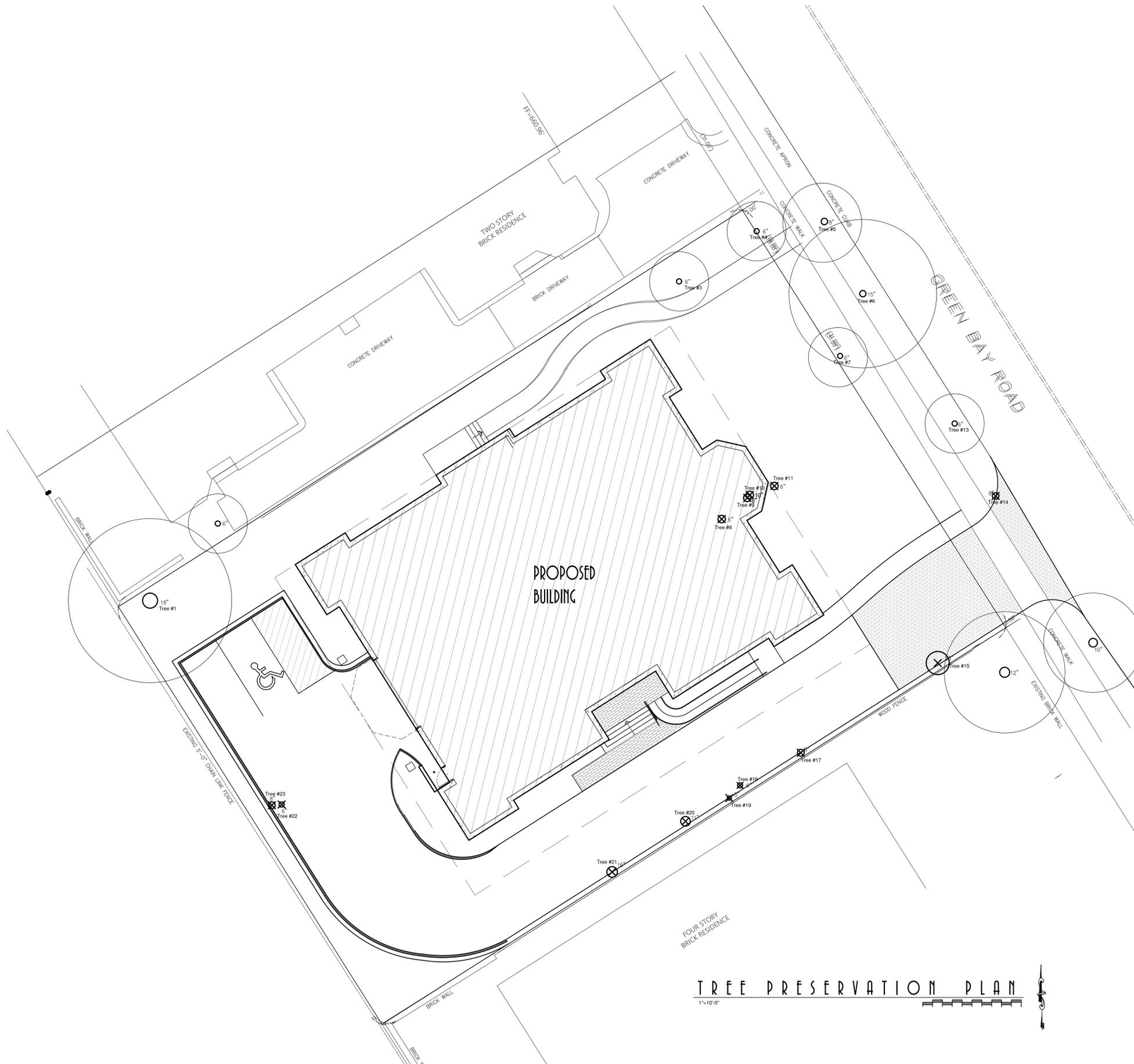
DESIGNED BY:
 RICHARD M. SWANSON, AIA
 JULIO A. VEGA

PREPARED BY:

DATE:	COMMENT:

PLAN NO:
1809

SHEET **A10** OF 12



TREE PRESERVATION PLAN

1"=10'-0"

Tree #	Species	Size	Condition	Remarks	Removal	Reason
1	Picea spp.	18"	good		no	
2	Rhamnus cathartica/ Morus spp.	6"/6"	poor/poor		yes	Invasive
3	Acer rubrum spp.	6"	excellent		no	
4	Acer rubrum spp.	6"	excellent		no	
5	Acer spp.	8"	poor		*	Major damage to trunk, branching bad
6	Acer spp.	15"	fair		no	
7	Quercus spp.	6"	good		yes	Utility box access will destroy tree
8	Ulmus spp.	6"	poor		yes	condition
9	Rhamnus cathartica	6"	poor		yes	invasive
10	Ulmus spp.	10"	poor		yes	condition
11	Ulmus spp.	6"	poor		yes	condition
12	Picea spp.	18"	good	top heavy	no	location and leaning
13	Pyrus spp.	6"	fair		yes	location
14	Pyrus spp.	8"	fair		yes	location, trunk splits 15' above grade
15	Ulmus spp.	28"	fair	top heavy	yes	location, size and condition
16	Morus spp.	6"	fair		yes	location, size and condition
17	Morus spp.	8"	fair		yes	location, invasive
18	Fraxinus spp.	6"	poor		*	location and small size
19	Ulmus spp.	5"	poor		yes	location and size
20	Ulmus spp.	11"	poor		yes	location and top heavy branching
21	Morus spp.	15"	fair		yes	location and one sided branching
22	Acer nungundo	6"	poor		yes	invasive
23	Acer nungundo	8"	poor		yes	invasive

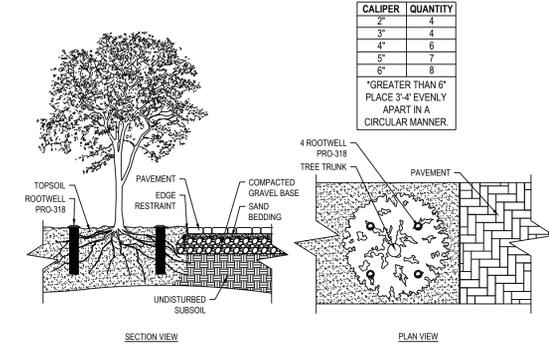
* Village Foretry Department to perform removal of tree and replacement from approved tree plant list
Cost of removal & replacement shall be at Applicant's expense

GENERAL NOTES:

- ONE TREE-INCH CALIPER TREE WILL BE PLANTED ON THE VILLAGE PARKWAY. THE REMAINING INCHES (28) MUST BE ACCOUNTED FOR THROUGH TREE PLANTING ON THE APPLICANT PROPERTY
- TREE REPLACEMENT IS REQUIRED AND IS BASED ON THE SPECIES AND CONDITION OF TREES TO BE REMOVED. REQUIRED REPLACEMENT SHALL BE AS FOLLOWS:
 - REMOVAL INCHES: 114"
 - REQUIRED REPLACEMENT DEPOSIT: \$7,750.00

TREE PRESERVATION NOTES:

- PROTECTIVE TREE FENCING WILL BE REQUIRED AT EDGE OF CRITICAL ROOT ZONES FOR ALL TREES TO REMAIN. PROTECTIVE FENCING MUST BE 6'-0" CHAIN LINK OR SIMILAR MATERIAL DRIVEN POSTS.
- GRADE CHANGES WITHIN THE TREE PROTECTION ZONES OF ANY PROTECTED TREE ARE PROHIBITED
- NO STOOPING OF ANY MATERIAL FOR ANY PERIOD OF TIME WITHIN TREE PROTECTION ZONES
- NO HEAVY MACHINERY MAY OPERATE WITHIN TREE PROTECTION ZONE DURING ANY PHASE OF CONSTRUCTION PROJECT, INCLUDING AFTER PROTECTIVE TREE FENCING HAS BEEN REMOVED. OPERATING HEAVY MACHINERY WITHIN TREE PROTECTION ZONE WILL RESULT IN A STOP WORK ORDER.

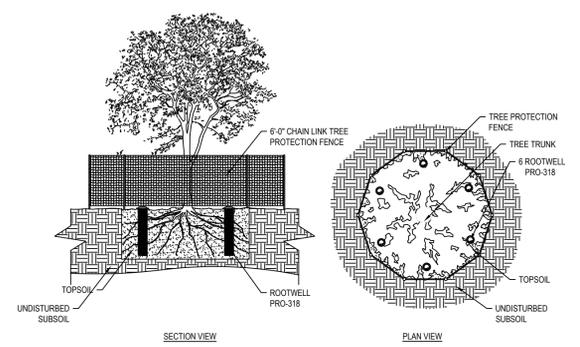


MANUFACTURER NOTES:

- EXISTING TREES REQUIRE THE ROOTWELL TO BE PLACED APPROXIMATELY 2' TO 4' FROM THE TRUNK, OR ON LARGE TREES AS CLOSE AS POSSIBLE. TREE ROOTS ARE NOT AT THE DRIP LINE, BUT ARE MUCH CLOSER TO THE TRUNK WHEN TREES ARE IN STRESS, IN DECLINE, OR IN COMPACTED SOILS
- USE THE QUANTITY GUIDE ABOVE AND EVENLY SPACE THE ROOTWELLS APART. ON LARGER TREES LOCATE THE ROOTWELLS IN A CIRCULAR MANNER AROUND THE TREE APPROXIMATELY 3'-4' APART. PLACE THE CAP'S TOP LIP FLUSH SO IT IS FLUSH ON THE GROUND TO ALLOW FOR MOWING CLEARANCE.

EXISTING TREE NEXT TO PAVEMENT

NO SCALE



MANUFACTURER NOTES:

- EXISTING TREES REQUIRE THE ROOTWELL TO BE PLACED APPROXIMATELY 2' TO 4' FROM THE TRUNK, OR ON LARGE TREES AS CLOSE AS POSSIBLE. TREE ROOTS ARE NOT AT THE DRIP LINE, BUT ARE MUCH CLOSER TO THE TRUNK WHEN TREES ARE IN STRESS, IN DECLINE, OR IN COMPACTED SOILS
- USE THE QUANTITY GUIDE ABOVE AND EVENLY SPACE THE ROOTWELLS APART. ON LARGER TREES LOCATE THE ROOTWELLS IN A CIRCULAR MANNER AROUND THE TREE APPROXIMATELY 3'-4' APART. PLACE THE CAP'S TOP LIP FLUSH SO IT IS FLUSH ON THE GROUND TO ALLOW FOR MOWING CLEARANCE.

EXISTING TREE PROTECTION

NO SCALE

W. Damon Wilson
Registered Landscape Architect

Resource One
Landscape Architects

7A Hillside Drive Barrington, IL 60010
Phone: 847-942-2727 Wilsonwd@aol.com

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PROFESSIONAL DESIGN FIRM #184-003936

RESIDENCE NAME
ADDRESS
CITY, ILLINOIS

R.M. SWANSON ARCHITECTS
1930 AMBERLEY CT OFFICE: 847.234.4655
LAKE FOREST, IL 60045 FAX: 847.615.5851

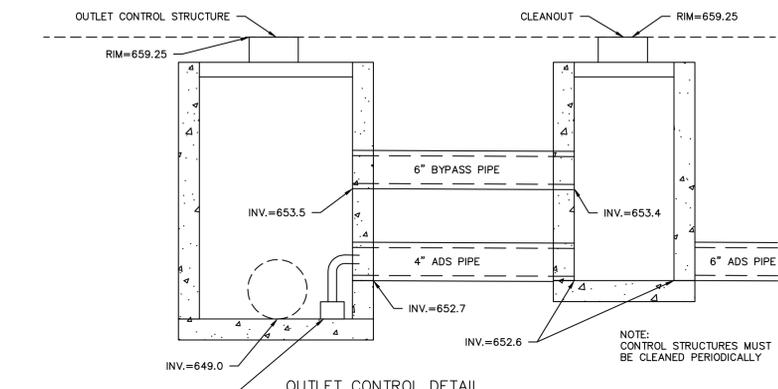
DESIGNED BY:
RICHARD M. SWANSON, AIA
JULIO A. VEGA

PREPARED BY:
JULIO A. VEGA
ARCHITECT

DATE:	COMMENT:

PLAN NO:
1700

SHEET OF
-



DETENTION SUMMARY

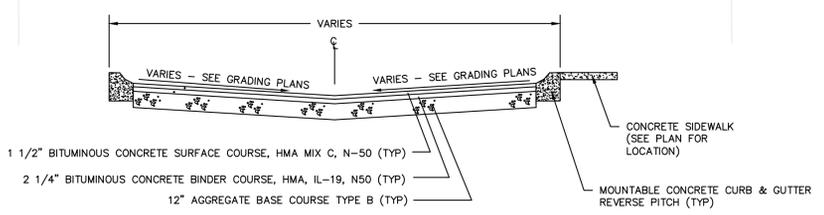
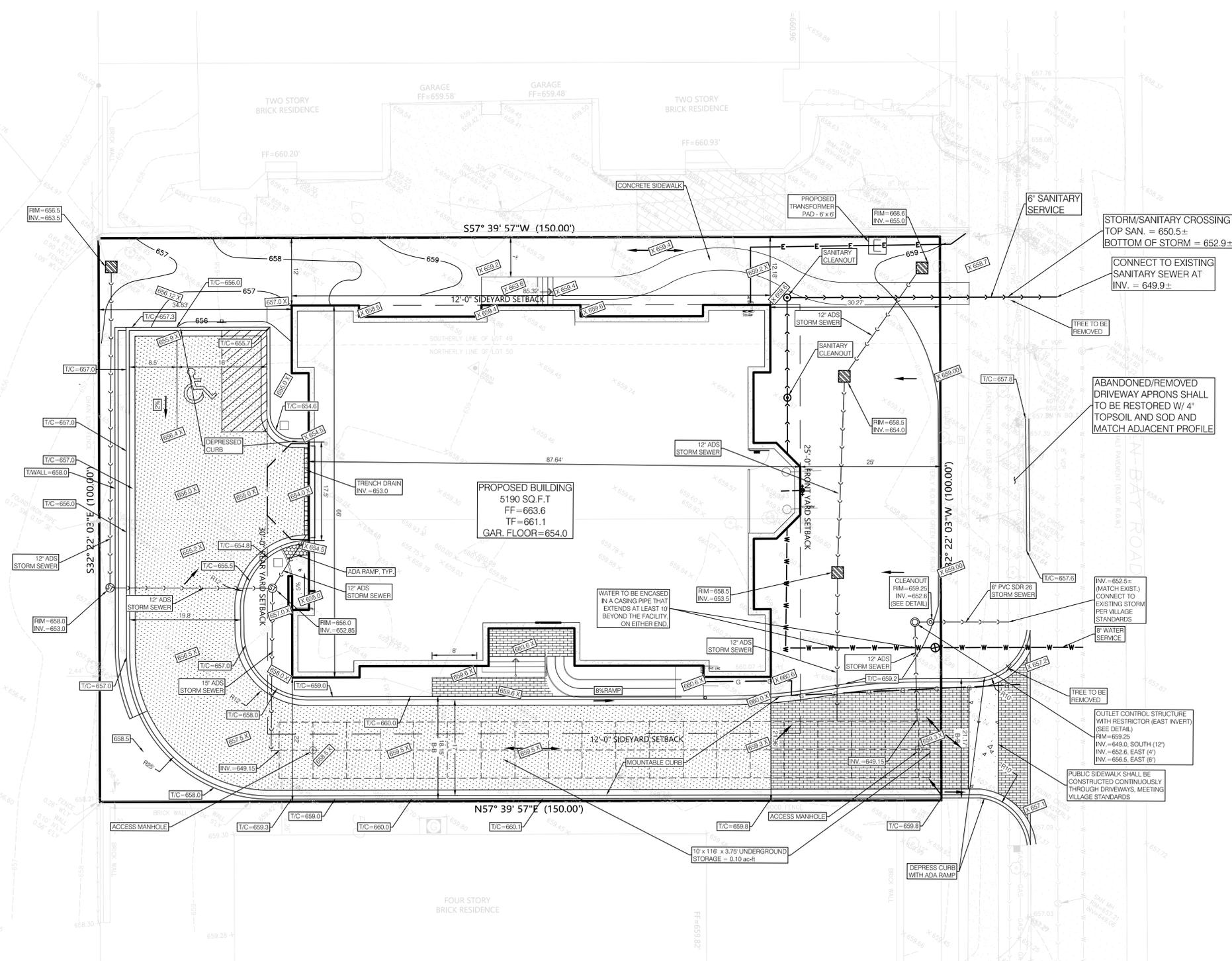
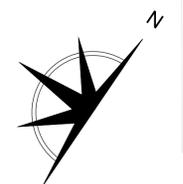
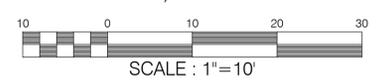
REQUIRED VOLUME = 0.082 AC.-FT (MWRD MODIFIED RATIONAL METHOD)
 PROVIDED VOLUME = 0.10 AC.-FT.
 - UNDERGROUND STORAGE = 0.10 AC.-FT.
 ALLOWABLE RELEASE RATE = $Q = 0.15 \times 3.6 \text{ IN/HR} \times 0.34 \text{ AC.} = 0.18 \text{ CFS}$
 HIGH WATER LEVEL = $649.15 + 3.75 = 652.9$ (GARAGE FLOOR = 654.0)

BASIS OF BEARINGS:
 BEARINGS SHOWN HEREON BASED ON ILLINOIS STATE PLANE COORDINATES, ZONE EAST, N.A.D. 1983

LEGEND

- SIGN
- BOLLARD
- AC UNIT
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ CLEANOUT
- ⊕ POWERPOLE
- ⊕ STORM INLET
- ⊕ STORM MANHOLE
- ⊕ STORM CATCH BASIN
- ⊕ MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ WATER B BOX
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER VALVE VAULT
- ⊕ ELECTRIC PEDESTAL
- ⊕ TELEPHONE PEDESTAL
- ⊕ LIGHT POLE
- ⊕ ELECTRIC TRANSFORMER
- DECIDUOUS TREE
- CONIFEROUS
- BUSH
- PROPERTY LINE
- OHW — OHW — OVERHEAD WIRES
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- W — W — W — EXISTING WATERMAIN
- 674 — — EXISTING CONTOUR
- BSL — — CENTERLINE ROAD
- BUILDING SETBACK LINE
- EASEMENT LINE
- EXISTING TREE LINE
- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING PAVEMENT

BENCHMARK:
 SITE BENCHMARK NUMBER 401
 NORTH FLANGE BOLT AT 694 N. GREEN BAY ROAD.
 ELEVATION=659.52' NAVD88



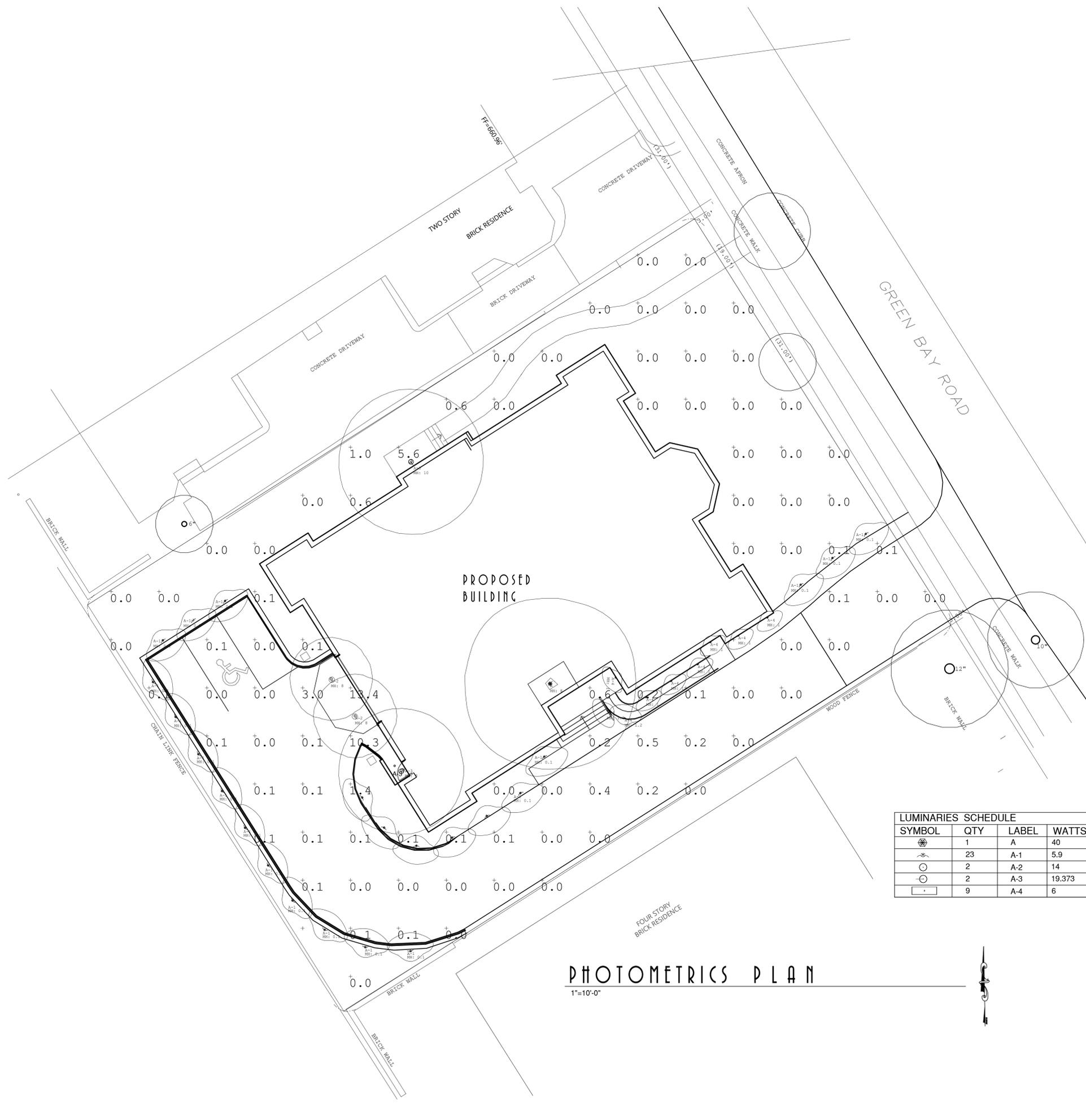
PREPARED FOR:
REVEST PARTNERS LLC
 745 CONSTANCE LANE
 DEERFIELD, IL 60015

PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land Entitlement - Project Feasibility
 4320 Winfield Drive - Suite 200 Warrenville Illinois 60555
 o: 630-300-0933 c: 630-624-0520

NO.		DATE	DESCRIPTION	REVISIONS		NO.	DATE	DESCRIPTION
1	01-20-20		CHANGES MADE PER ARCH. COMMENTS					
2	01-23-20		REVISED PER VILLAGE LETTER DATED 01-06-20					
3	02-19-20		REVISED PER VILLAGE LETTER DATED 02-07-20					
4	03-11-20		REVISED PER VILLAGE REVIEW					

PRELIMINARY ENGINEERING PLAN
THE WALDEN - 688 GREEN BAY ROAD

FILE NAME: LAYOUT PLAN	DSGN. BY: ESM	JOB NO.:	FLD. BK.:	SHEET NO.:
DISC NUM.:	DRN BY: TWA	DATE: 10-29-19	SCALE: 1"=10'	C1 of C2



PHOTOMETRICS PLAN

1"=10'-0"

LUMINARIES SCHEDULE						
SYMBOL	QTY	LABEL	WATTS	TYPE	LLF	DESCRIPTION
	1	A	40	LED	0.900	HINKLEY "RALEY" PENDENT #1602MB-LL (BLACK)
	23	A-1	5.9	LED	0.900	ASPECT MODEL AL-1G-PW-A121 PATHWAY LIGHT (STAINLESS)
	2	A-2	14	LED	1.000	JUNO 1C20LEDT24 5"
	2	A-3	19.373	LED	0.900	HINKLEY 10231TK "FOUNDRY CLASSIC" (BLACK)
	9	A-4	6	LED	0.900	LOUVERED BRICK LIGHT #1594 BZ-LED (BRONZE)

RALEY
SMALL
LARGE HANGING LANTERN

DETAILS
FINISH: Black Brass
MATERIAL: Cast Aluminum
COLOR: Black (Other Colors Avail)

PRODUCT DETAILS:
• This chain or cable hanging fixture may be installed on any exposed ceiling.
• Suitable for use in damp, moisture resistant or wet areas or in outdoor locations as defined by NEC and IEC. Meets Listed Status in U.S. and Canada. UL Listed and ETL Listed. Canadian Standards Association (CSA) Listed.
• 2 year finish warranty.
• LED lamp sold separately. 1 year limited warranty.
• Chain, base and hardware details complement traditional architecture.
• Black brass finish enhances design.

HINKLEY

FOUNDRY CLASSIC
SMALL
SMALL DOORBACK BRICK LIGHT

DETAILS
FINISH: Black Brass
MATERIAL: Cast Aluminum
COLOR: Black (Other Colors Avail)

PRODUCT DETAILS:
• Mounting hardware is hidden on the backplate to conserve a clean appearance.
• Suitable for use in wet (interior, shower and outdoor direct sun) or outdoor locations as defined by NEC and IEC. Meets Listed Status in U.S. and Canada. UL Listed and ETL Listed. Canadian Standards Association (CSA) Listed.
• Finish is Dark Gray complement and engineered to enhance light glow.
• 2 year finish warranty.
• Chain, base and hardware details complement traditional architecture.
• Black brass finish enhances design.

HINKLEY

aspectLED

In-ground Stainless Steel Pathway Light (3W)

DESCRIPTION
Aspect LED's stainless steel LED lights are bright, energy efficient and extremely durable. They feature a stainless steel body with a stainless steel lens and a stainless steel mounting bracket. They are ideal for use in outdoor applications. Ideal for installation along walkways, patios, decks, and other outdoor areas.

PHYSICAL DIMENSIONS & SPECIFICATIONS

	3W	5W	7W
Light Source	3W LED	5W LED	7W LED
Light Output	300 lumens	500 lumens	700 lumens
Beam Spread	120°	120°	120°
Material	Stainless Steel	Stainless Steel	Stainless Steel
Finish	Brushed	Brushed	Brushed
Weight	0.5 lbs	0.5 lbs	0.5 lbs
Height	4.5" (114mm)	4.5" (114mm)	4.5" (114mm)
Depth	2.5" (63.5mm)	2.5" (63.5mm)	2.5" (63.5mm)
Width	2.5" (63.5mm)	2.5" (63.5mm)	2.5" (63.5mm)
Installation	Surface Mount	Surface Mount	Surface Mount
Warranty	5 Year	5 Year	5 Year

CERTIFICATIONS
UL Listed, ETL Listed, CSA Listed, Energy Star Qualified

LOUVERED BRICK LIGHT #1594 BZ-LED (BRONZE)

DETAILS
FINISH: Bronze
MATERIAL: Cast Aluminum
COLOR: Bronze (Other Colors Avail)

PRODUCT DETAILS:
• Mounting hardware is hidden on the backplate to conserve a clean appearance.
• Suitable for use in wet (interior, shower and outdoor direct sun) or outdoor locations as defined by NEC and IEC. Meets Listed Status in U.S. and Canada. UL Listed and ETL Listed. Canadian Standards Association (CSA) Listed.
• Finish is Dark Gray complement and engineered to enhance light glow.
• 2 year finish warranty.
• Chain, base and hardware details complement traditional architecture.
• Black brass finish enhances design.

HINKLEY

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PROFESSIONAL DESIGN FIRM #B4-003936

THE WALDEN RESIDENCES

688 GREEN BAY ROAD
WINNETKA, ILLINOIS

R.M. SWANSON ARCHITECTS
1930 AMBERLEY CT
LAKE FOREST, IL 60045
OFFICE: 847.234.4655
FAX: 847.615.5851

DESIGNED BY:
R. SWANSON

PREPARED BY:

DATE: _____

COMMENT:

PLAN NO:
1809

SHEET OF
-

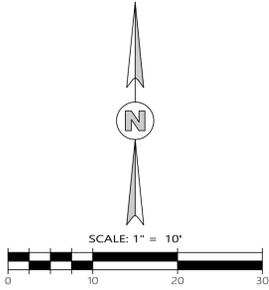
BOUNDARY AND TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

THE SOUTH 19 FEET OF LOT 49 AND THE NORTH 31 FEET OF LOT 50 (EXCEPT FROM SAID LOTS THE EASTERLY 3 FEET USED FOR STREET PURPOSES) IN THE COUNTY CLERK'S DIVISION OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF RAILROAD IN THE VILLAGE OF WINNETKA IN COOK COUNTY, ILLINOIS.

AND

THE SOUTH 50 FEET OF THE NORTH 81 FEET OF LOT 50 IN COUNTY CLERK'S DIVISION OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT FROM SAID PREMISES THE EASTERLY 3 FEET USED FOR STREET PURPOSES), IN COOK COUNTY, ILLINOIS.



BASIS OF BEARINGS:
BEARINGS SHOWN HEREON BASED ON ILLINOIS STATE PLANE COORDINATES, ZONE EAST, N.A.D. 1983

LEGEND

- SIGN
- BOLLARD
- AC UNIT
- ELECTRIC METER
- GAS METER
- CLEANOUT
- POWERPOLE
- STORM INLET
- STORM MANHOLE
- STORM CATCH BASIN
- MANHOLE
- SANITARY MANHOLE
- WATER B BOX
- FIRE HYDRANT
- WATER VALVE
- WATER VALVE VAULT
- ELECTRIC PEDESTAL
- TELEPHONE PEDESTAL
- LIGHT POLE
- ELECTRIC TRANSFORMER
- DECIDUOUS TREE
- CONIFEROUS
- BUSH
- PROPERTY LINE
- OHW
- OVERHEAD WIRES
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING WATERMAIN
- EXISTING CONTOUR
- CENTERLINE ROAD
- BUILDING SETBACK LINE
- EASEMENT LINE
- EXISTING TREE LINE
- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING PAVEMENT

BENCHMARK:
SITE BENCHMARK NUMBER 401
NORTH FLANGE BOLT AT 654 N. GREEN BAY ROAD.
ELEVATION=659.52' NAVD88

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

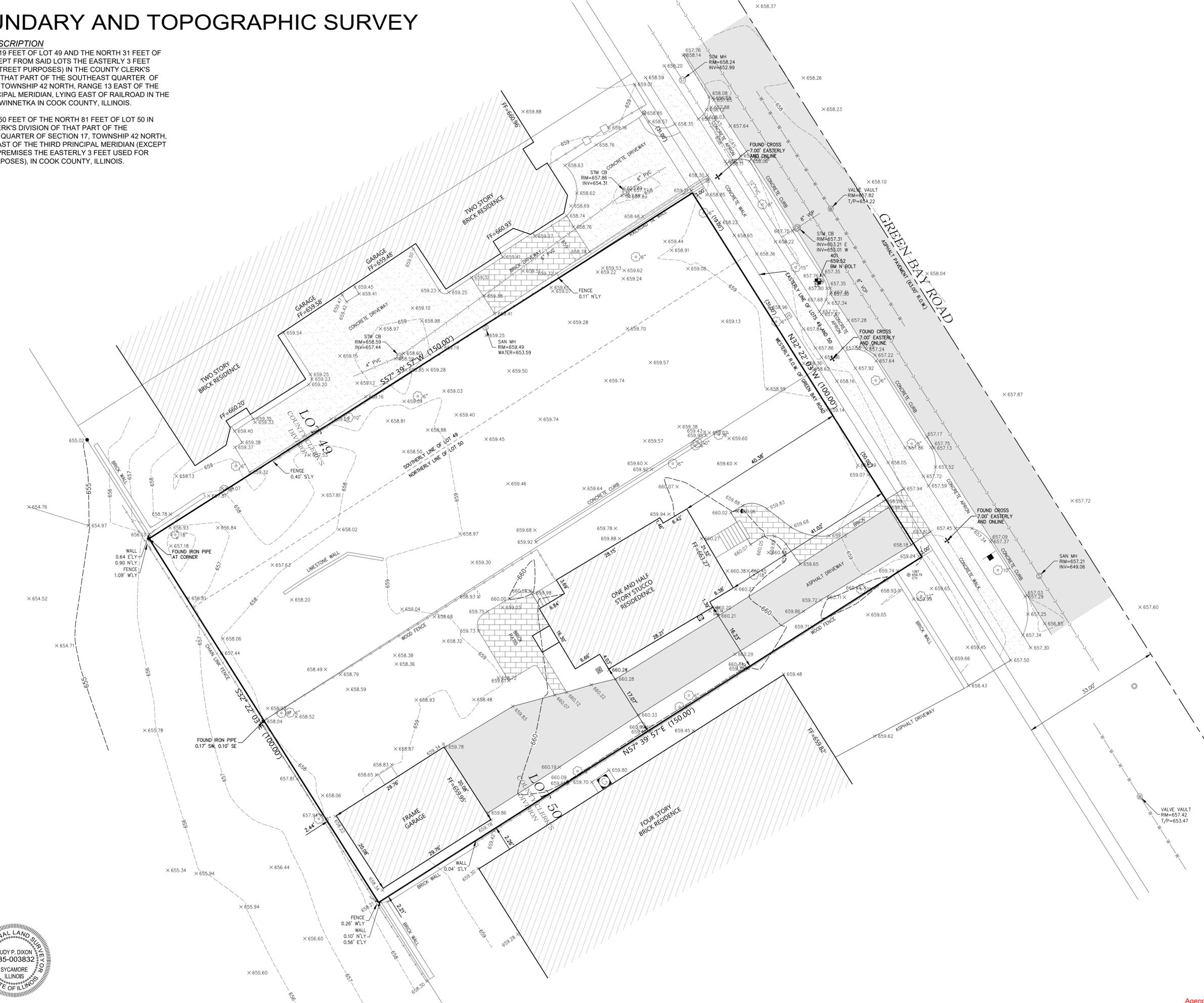
811 Know what's below. **JULIE** Call before you dig. (OUTSIDE CHICAGO AREA) CALL 48 HOURS (2 WORKING DAYS) BEFORE YOU DIG 811 or 1-800-892-0123

STATE OF ILLINOIS }
COUNTY OF DEKALB }
WE, REGIONAL LAND SERVICES, LLC, ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-007858-0010, DO HEREBY DECLARE THAT WE HAVE SURVEYED THE TRACT OF LAND SHOWN HEREON AND THIS PLAT IS A CORRECT REPRESENTATION OF SAID TRACT.

GIVEN UNDER MY HAND AND SEAL THIS 16TH DAY OF OCTOBER, A.D. 2019, AT SYCAMORE, ILLINOIS.

Rudy P. Dixon
RUDY P. DIXON ILLINOIS PROFESSIONAL LAND SURVEYOR
LICENSE NO. 035-003832 LICENSE EXPIRES: NOVEMBER 30, 2020

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



PROJECT NUMBER: 19-0181	DATE: 2019-10-15	SCALE: 1" = 10'	DRAWN BY: RMW
SHEET: 1 OF 1	DATE: 2019-10-15	DATE: 2019-10-15	DATE: 2019-10-15
DRAWING NUMBER: 5 - Page 154	DATE: 2019-10-15	DATE: 2019-10-15	DATE: 2019-10-15
PROJECT ADDRESS: 654 N GREEN BAY ROAD	CITY: WINNETKA, IL	STATE: ILLINOIS	COUNTY: COOK

REVISIONS:

NO.	DATE	DESCRIPTION

ENGINEER: ESM CIVIL SOLUTIONS, LLC
CIVIL ENGINEERING - LAND ENTITLEMENTS - PROJECT FEASIBILITY
4320 WINDFIELD ROAD - SUITE 200 WINDFIELD, IL 60555
O: 630-300-0933 C: 630-624-0520

REGIONAL LAND SERVICES
270 VIDA COURT
SYCAMORE, ILLINOIS 60178
PHONE: (618) 559-2260

Members of the Winnetka Design Review Board
Winnetka Village Hall
510 Green Bay Rd.
Winnetka, IL 60093

January 12, 2020

Re: Proposed Development at 688/694 Green Bay Rd.

Dear Members of the Winnetka Design Review Board:

In August 2019, we, the neighbors adjacent to the proposed development at 688/694 Green Bay Road, wrote to the Village Council (letter attached) expressing our concerns related to the proposed development at 688/694 Green Bay Road. Later that month, we organized a meeting with Rick Swanson, the developer, to better understand the proposed plans and to share our primary concerns, including: a) water displacement, b) building height and c) construction damage to nearby properties.

We recently received updated plans from Mr. Swanson to combine the two lots. Overall, we like the design and architecture of the building; however, our concerns have not been alleviated.

a) Water displacement: Water displacement to neighboring homes was not sufficiently addressed in the most recent application. The homes located to the west on Walden Road, given their lower elevation, will be the main recipients of any and all water displacement. Many neighbors have spent considerable time, resources and dollars to address water issues. The introduction of such a large structure with the prescribed below-grade depth will most certainly cause additional water displacement to the nearby homes.

b) Building height: The zoning rules for the two lots currently allows for a building height up to 35 feet. The application seeks a height variance of 50 feet 6 inches. We would point out that in reviewing the elevation diagrams, the building height would be 55 feet above the existing grade and 63 feet above the grade of Walden Road. This is unacceptable given the visual obstruction of the development and the resulting loss of sunlight most hours of the day to the bordering homes. A lack of sunlight decreases not only the quality of life but also the value of the impacted properties. The developer's shadow study confirms this concern. Further, we believe if the Village approves the building height variance for 688/694 Green Bay Road, precedent is set for future height exemptions for similarly zoned lots along Green Bay Road.

c) Construction damage to nearby properties: The buildings along Green Bay Road sit on top of an old landfill. Given the absence of normal soil conditions, construction damage to the neighboring properties is highly possible. We would ask that insurance be taken out (with neighbors as beneficiaries) to compensate neighbors in the event of physical damage. This issue was not mentioned in the latest application.

We understand that the Village Community Development department has asked Mr. Swanson for additional information before the application is considered complete. We look forward to further discussions concerning the aforementioned items during the open meetings with the Design Review Board and hope for due consideration as mentioned here and in our letter to the Village Council dated August 2019.

Sincerely Yours,

Neighbors of 688/694 Green Bay Road

Ruud and Pam Coster	696 Green Bay Road, Winnetka, IL
Sharon Cikanek and Michelle Ruane	698 Green Bay Road, Winnetka, IL
John and Lynne Frank	693 Walden Road, Winnetka, IL
Gordon and Claudia Montgomery	681 Walden Road, Winnetka, IL
Jim and Mary Jo Bushell	677 Walden Road, Winnetka, IL
Chris O'Donnell (Board Member and Resident)	680 Green Bay Road Building, Winnetka, IL

David Schoon

From: Ruud Coster [REDACTED] >
Sent: Tuesday, August 13, 2019 8:48 PM
To: Chris Rintz; John Swierk; Andrew Cripe; Penfield Lanphier; Robert Dearborn; Jack Coladarci; Anne Wedner
Cc: David Schoon; Brian Norkus
Subject: External: Development 694 and 688 Green Bay Road
Attachments: Final Memo to Council of Winnetka Aug 2019.docx

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. .
Please find attached a letter from the neighbors near the proposed development on Green Bay Road addressed to all Village Council Members.

With kind regards/met vriendelijke groeten

Ruud Coster
[REDACTED]

Ruud Coster
696 Green Bay Road
Winnetka, IL 60093
847-942-9400

Winnetka Village Council
Winnetka Village Hall
510 Green Bay Rd.
Winnetka, IL 60093

August 12, 2019

Re: Proposed Development at 694/688 Green Bay Rd.

Dear Village Council:

I have been a resident of Winnetka since 1987, first on Ridge Avenue and then, in 2004, we downsized to a townhome at 696 Green Bay Road. Our home and those of our neighbors came up in the Village Council meeting in July because of the potential development of the parcels on 694 and 688 Green Bay.

We had a meeting of the neighbors on Green Bay and Walden Rd. on August 7. None of us were aware of this proposed development or that it was going to be on the agenda of the Council in July. During the Council meeting, which we listened to afterwards, you asked for feedback from the room and none came because none of the neighbors were there. We only heard from the developer and the community development department about the meeting after the fact.

From the video of that Council meeting it seems obvious that two important issues are now influencing developments and zoning approvals in Winnetka:

First is the Winnetka One project. The Council and perhaps others feel that, because of the time it took to get Winnetka One through the process, the image of Winnetka is slow, bureaucratic and costly and we have to change that image with developers.

Second is the reduction in property values and the higher real estate taxes. The lender who took possession is saddled with land costs that can only be recouped if the developer (the contract purchaser) has his zoning variations (primarily height of building and density) approved and approved quickly.

On behalf of the neighbors, I am writing to say that we want to be sure of two things:

- That zoning variations are not approved too quickly and without reasonable input from the neighbors. Why would we give variances away, unless there is a benefit for Winnetka as a whole without detriment to the neighbors?
- That the pressures from the cumbersome Winnetka One approval process and the financial interests of the lenders/developers are not put squarely on the shoulders of the neighbors by approving zoning variations that may result in declining property values and extra costs for the neighbors. At the neighbors' meeting, the density of the project causing possible water problems was a primary topic.

The neighbors have some concerns. We look forward to being invited into the process of considering zoning exemptions.

Thank you.

Ruud Coster

David Schoon

From: Ruud Coster <[REDACTED]>
Sent: Wednesday, September 11, 2019 12:48 PM
To: Chris Rintz; John Swierk; Andrew Cripe; Penfield Lanphier; Robert Dearborn; Jack Coladarci; Anne Wedner
Cc: Brian Norkus; David Schoon; Rick Swanson
Subject: External: Development 694/688 Green Bay Road
Attachments: Memo to Council of Winnetka Sept 4 2019.docx

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

As a follow up to our earlier email about the development of 694/688 Green Bay Road, please find attached a letter about the issues with the development that were discussed in a recent meeting with the developer.

--

With kind regards/met vriendelijke groeten

Ruud Coster

[REDACTED]

Ruud Coster

[REDACTED]
Winnetka, IL 60093
[REDACTED]

Winnetka Village Council
Winnetka Village Hall
510 Green Bay Rd.
Winnetka, IL 60093

September 4, 2019 Re: Proposed Development at 694/688 Green Bay Rd.

Dear Village Council:

Further to our letter to you dated August 12, 2019, there was a meeting on August 21, 2019 with potential developer Rick Swanson and a representative group of eleven neighbors from Walden and Green Bay Road

The group complimented Rick on the tasteful design of the proposed development.

There were also questions raised regarding the following:

- By far the biggest issue discussed was **water**. The potential effects of the high density (requested FAR% exemption) of the building on the flow of water during rainstorms is important. Already today, Walden Road homes have a difficult time dealing with rain and residents have spent heavily to control water on their properties. A new building (located on higher ground) with high density might require extra provisions and guarantees that water will not flood Walden properties.
- Questions were raised about the **height** of the building (proposed at 50.5' above garage level or 52.5' above ground level versus a zoning requirement of 35.5') and the effect it will have on 1) the views from neighbor homes (especially from the homes immediately to the north and west of the property) 2) the diminished light (could a study be done measuring impact?) and 3) the potential reduction in value related to 1 and 2 above. We understand that the developer wants to maximize value and profits, but does that value have to come from diminished values of the homes of neighbors? Another observation was made that the height of the building

was exceptional relative to the surrounding tall buildings such as 680 Green Bay and the Wingate building to the north.

- **Traffic** in and out of the new development might be an issue. Getting in and out of driveways on that stretch of Green Bay is already an issue and an additional 14 – 15 cars might make that even more difficult.
- **Damage from construction** is another concern. As the proposed garage and extra draining reservoir will require very deep excavation, neighbors (especially those to the south and north) would want to be insured for possible damage to their foundations. The treasurer of the 680 building board told us at the gathering that 680 was built on landfill and asked if soil samples would be taken. This was discussed with Rick Swanson.

We realize that the designs that were discussed were only preliminary and that final plans are to be presented in the coming months. We trust that the neighbor group will be invited to upcoming sessions to discuss plans for the 694/688 development and that the impact on our homes and values will be respected.

On behalf of the neighbors, thank you.

Ruud Coster

July 16, 2019 WINNETKA VILLAGE COUNCIL REGULAR MEETING – MINUTE EXCERPTS

(Approved: August 6, 2019)

A record of a legally convened regular meeting of the Council of the Village of Winnetka, which was held in the Village Hall Council Chambers on Tuesday, July 16, 2019, at 7:00 p.m.

Call to Order.

President Rintz called the meeting to order at 7:01 p.m. Present: Trustees Jack Coladarci, Andrew Cripe, Robert Dearborn, Penfield Lanphier, and Anne Wedner. Absent: Trustee John Swierk. Also present: Village Manager Robert Bahan, Village Attorney Peter Friedman, Community Development Director David Schoon, Fire Chief Alan Berkowsky, Deputy Fire Chief John Ripka, and approximately 50 persons in the audience.

New Business.

[This item was discussed after Item No. 7 and before item No. 8.]

688 & 694 Green Bay Road – Willow Trace Residences Planned Development – Concept Plan Review. Mr. Schoon reviewed the new Planned Development application process, noting that the concept plan review is simply a preliminary review of the proposed development, and is not binding on either side. After he reviewed the current zoning of the Subject Properties, he explained that subdivision relief would be needed to combine the two parcels into one buildable lot. In addition, zoning variations for gross floor area, height, roof form and façade articulation would also be sought in connection with the proposed development.

Rick Swanson, Swanson Development, LLC. Mr. Swanson presented his proposal, which calls for demolition of two existing vacant structures at the Subject Property, and constructing a single replacement building which will include six 2,200 square-foot luxury residences. Also included in the proposal: 12 underground parking spaces, two outdoor parking spaces, a rooftop storage area, and rooftop deck.

Mr. Swanson explained that his proposal complies with zoning density and setback provisions and all of the units will be privately owned and maintained. He would request zoning variations for increased height to accommodate higher ceilings in the units, and from gross floor area (GFA) limits to allow for the underground garage, which will add 5,176 square feet to the GFA calculations.

[Trustee Swierk arrived at 7:21 PM.]

There were no comments from the audience.

The Council discussed the proposal, and asked Mr. Swanson to address the following issues in his final plan: (i) the impact on the homes immediately to the west of the development; (ii) height of the building; (iii) stormwater control; (iv) parking and driveway access; and (v) access and siting of the trash enclosure.

The Council was generally favorably inclined towards the proposed development, and Mr. Swanson was asked to communicate with the neighbors to hear their concerns.

Mr. Swanson said engagement with the neighbors is an important part of his process. In addition, his research reveals a need for this type of housing in Winnetka.



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: VILLAGE COUNCIL
FROM: ANN KLAASSEN, SENIOR PLANNER
DATE: JULY 9, 2019
SUBJECT: 688 & 694 GREEN BAY ROAD - WILLOW TRACE RESIDENCES -
PLANNED DEVELOPMENT - CONCEPT PLAN REVIEW

INTRODUCTION

On July 16, 2019, the Village Council is scheduled to consider an application filed by Swanson Development, LLC (the "Applicant"), as the contract purchaser of the properties located at 688 Green Bay Road and 694 Green Bay Road (the "Subject Property"). The Applicant has submitted a Planned Development Concept Plan application to develop a six (6) unit multi-family residential project.

The purpose of the Village Council's review of the concept plan application is to broadly acquaint the Council with the Applicant's proposal and provide the Applicant with any preliminary views or concerns members of the Council may have early in the process when adjustments are still possible and prior to the Applicant expending the funds necessary to prepare the complete documentation required for a preliminary plan application.

After hearing the comments and suggestions from the Village Council, if the Applicant decides to proceed with the project, the Applicant will need to submit a preliminary planned development application with all the required documents for consideration by the Planned Development Commission and the Design Review Board. Property owners within 250 feet of the Subject Property will be notified of these meetings by mail notice, a notice will be published in the *Winnetka Current*, and a sign will be posted on the Subject Property. Once the advisory bodies have completed their respective reviews, the Village Council will consider the advisory bodies' findings and recommendations on the preliminary plan and vote to grant, deny or modify the planned development application, or the Village Council may return the matter to the Planned Development Commission or Design Review Board for further consideration and findings. Provided the preliminary plan is approved by the Village Council, a final plan shall be submitted for the Village Council's consideration and substantially conform to the approved preliminary plan.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.35 acres (15,175 square feet) in size, is located on the west side of Green Bay Road between Pine Street and Westmoor Road. Currently, there is a vacant single family residence on the 688 Green Bay Road parcel and the 694 Green Bay Road parcel is vacant. Figures 1 through 4 on the following pages identify the Subject Property.



Figure 1 – Subject Property (688 Green Bay Road)



Figure 2 – Subject Property (694 Green Bay Road - looking southwest from Green Bay Road)



Figure 3 – Aerial Map

The Land Use Plan Map of the 2020 Comprehensive Plan designates the Subject Property as appropriate for “Townhouse Residential” development, which is generally a lower-density transitional area between commercial districts and single family neighborhoods. The Land Use Plan Map designates the property to the south along Green Bay Road as appropriate for “Multi-Family Residential” and to the north as appropriate for “Townhouse Residential”.

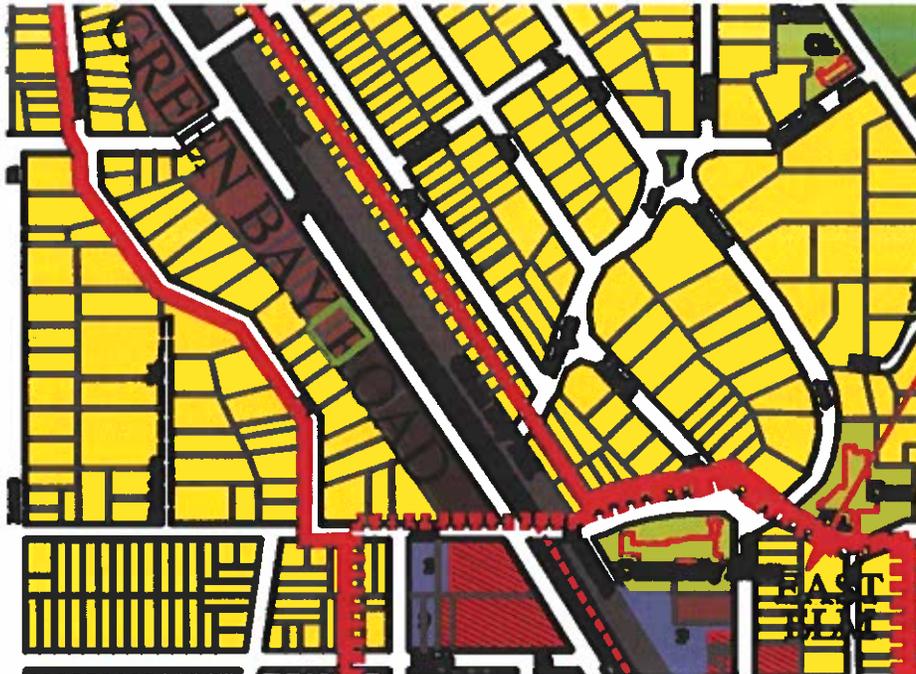


Figure 4 – Comprehensive Plan Land Use Map

The property is zoned B-1 Multifamily Residential, and it is bordered by B-1 Multifamily Residential to the north, B-2 Multifamily Residential to the south, and R-3 Single Family Residential to the west (represented in Figure 5 below). Along Green Bay Road to the south there are multi-family structures and to the north are a duplex building, a townhouse development, and a multi-family building. Immediately to the west are two single family homes (see Attachment B for photographs). The B1 District allows multi-family structures at a density no greater than 18 units per acre, which for the Subject Property would be 6 units.

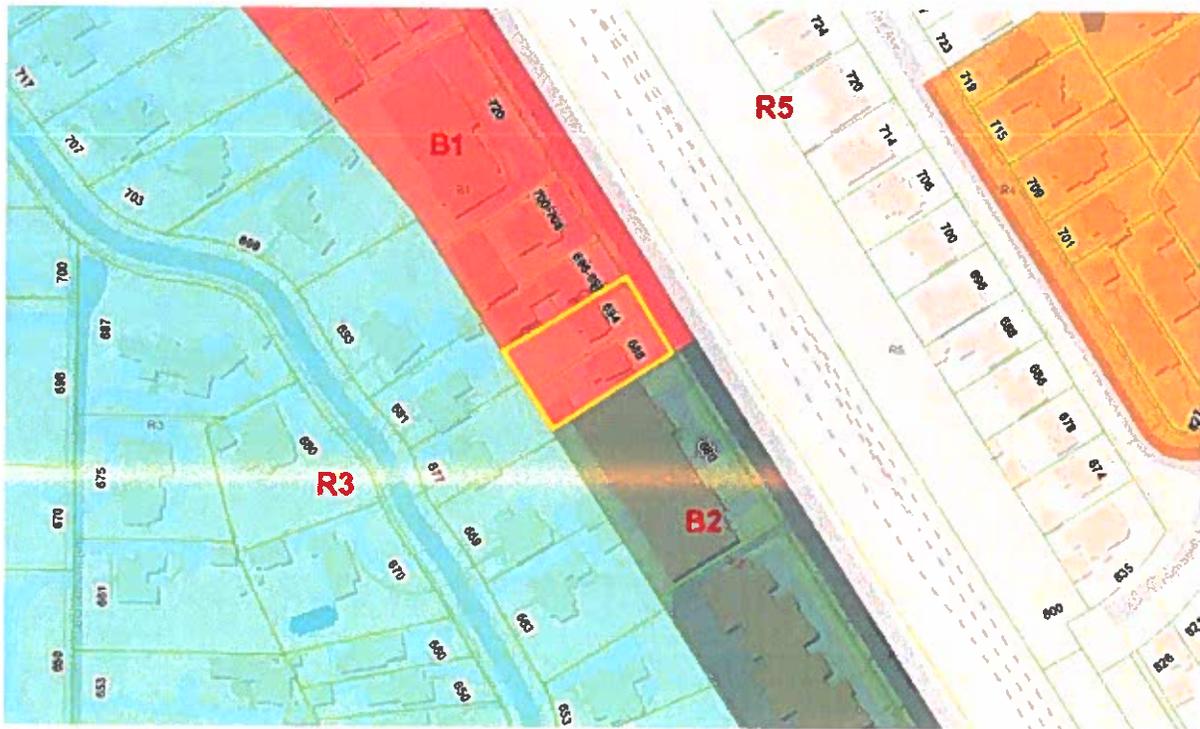


Figure 5 – Zoning Map

Given the Subject Property is on the boundary of two Comprehensive Plan land use designations, the Applicant’s proposed use of the Subject Property as a multi-family residential development is generally consistent with the Comprehensive Plan land use designation and the B-1 zoning district.

PROPERTY HISTORY

The Subject Property was the subject of a code enforcement complaint regarding the condition of the former residence located at 694 Green Bay Road dating back to 2016. The department handled the nuisance violation with the Village Prosecutor through the court system, which culminated in the demolition of the single-family residence on the 694 Green Bay Road parcel last year.

PROPOSED PLAN

The proposed development of the Subject Property, referred to as the Willow Trace Residences, consists of six (6) luxury flats, each measuring approximately 2,200 square feet, in three stories with 12 enclosed below grade parking spaces. The plan also includes a fourth story that would consist of owner storage space and a common indoor lounge area as well as a roof deck and garden. In addition to providing 12 enclosed parking spaces for owners, two guest parking spaces would be provided at the rear of the property, with additional street parking available on Green Bay Road.

The Applicant describes the proposed architectural design of the development as English Country Manor style. As described in the attached narrative provided by the Applicant and included in this report as Attachment A, the exterior materials would include reddish/brown face brick and limestone trim and water table on all four elevations. The window frames would be black with simulated divided lite muntins. The units would also include private balconies that would be faced with wood trim and include black wrought iron rails, balustrades and spindles. The pitched roof elements would be DaVinci artificial slate shingles with copper decorative finials, gutters and downspouts.

ZONING RELIEF

Based upon staff's initial review of the materials submitted to date, the following subdivision and zoning relief has been identified; **additional relief may be necessary as the plans evolve and become more detailed:**

- A. Plat of Consolidation – 688 Green Bay Road and 694 Green Bay Road will need to be consolidated into one single lot of record.
- B. Maximum Building Size – the consolidated lot area of 15,175 square feet allows a maximum gross floor area (GFA) of 12,140 square feet. As currently proposed, the building consists of approximately 22,957 square feet of gross floor area, requiring a variation of 10,817 square feet (89.1%). The following is a breakdown of how the building area was calculated:
 - a. First, second and third floors – 15,528 square feet
 - b. Balconies – 891 square feet
 - c. Fourth floor (enclosed storage and lounge) – 1,362 square feet
 - d. Basement (parking) – 5,176 square feet (the basement is included in the GFA because as currently drawn the first floor is more than 2.5 feet above existing grade).
- C. Maximum Building Height – the proposed building height is 50.5 feet and four (4) stories, whereas the maximum permitted building height is 35 feet and 2½-stories. The dimension of 50.5 feet is measured from the first floor to the highest point of the decorative gable at the center of the building. The height to the top of the flat roof of the enclosed storage and lounge area on the fourth floor would be 47 feet. The proposed design also includes four corner tower roof elements that would be 45.17 feet in height with a parapet between the four corners that would be 39.33 feet in height. It is relevant to note that the proposed units include 10-foot ceiling heights for each floor level, which according to the Applicant is a standard design requirement for north shore residences in this market.
- D. Principal Roof Form – the proposed design incorporates pitched roof gables at the four corners of the building as well as the center, however, the primary roof design is that of a flat roof. The Zoning Ordinance prohibits flat roofs, shed roofs, mansard roofs, butterfly roofs, domed roofs and the like.
- E. Façade Articulation - At this preliminary level of review, staff is unable to verify compliance with the articulation requirement. The requirement is intended to assure that the apparent scale of the building is compatible with the scale of near-by single family development by requiring no exterior wall be unarticulated for a distance greater than 50 feet. The Zoning Ordinance requires the distance in the plane of the walls be at least four (4) feet.

Items B-E above would require the Village Council to approve exceptions to these zoning requirements. The Applicant has yet to identify compensating benefits for the proposed development that would support the granting of the exceptions. The Applicant would need to do that during the formal

preliminary application process.

The proposed plan complies with the intensity of use of lot regulations as well as the minimum required setbacks. That being said, it is important to note that the proposed development will have to meet all storm water regulations. A preliminary engineering plan will need to be submitted with the preliminary plans and will be reviewed by Village Engineering staff for compliance.

For this preliminary conceptual review, the Applicant has provided a site plan, first floor plan, roof plan, east and south building elevations, and renderings along with a narrative description of the proposed development, which are all included in Attachment A.

CONSIDERATION BY VILLAGE COUNCIL

Any member of the Village Council may make any comments, suggestions or recommendations regarding the concept plan they deem necessary or appropriate. However, no final or binding action is taken at this preliminary conceptual review. Any views expressed during the Village Council's review of the concept plan are only preliminary and advisory and only the individual views of the member expressing them. Nothing said or done during the concept review shall be deemed to create, or to prejudice, any rights of the Applicant or to obligate the Village Council to approve or deny any preliminary plan application.

RECOMMENDATION

At the July 16, 2019 Village Council meeting, staff recommends that the Village Council review the Applicant's concept plan application, and that Council members provide individual comments, suggestions or recommendations on the proposed six (6) unit multi-family development at 688 and 694 Green Bay Road.

ATTACHMENTS

Attachment A: Application Materials

Attachment B: Photographs of Area Properties

PD-C 	VILLAGE OF WINNETKA, ILLINOIS DEPARTMENT OF COMMUNITY DEVELOPMENT PLANNED DEVELOPMENT <u>CONCEPT PLAN APPLICATION</u>
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This application addresses the first step of the Village's planned development public review process. **Prior to submittal of this form** and accompanying project details, an applicant is **required** to meet with the Community Development Department staff to discuss the planned development requirements and procedures.

Once this application is received, Village staff will schedule a presentation of the application materials to the Village Council at a regular Council meeting. The purpose of the concept plan presentation to the Council is to broadly acquaint the Village Council with the applicant's proposal and provide the applicant with any preliminary views or concerns that members of the Village Council may have at a time in the process when positions are still flexible, adjustment is still possible, and prior to the time when the applicant is required to expend the funds necessary to prepare the complete documentation required for a preliminary plan application.

At the meeting at which the concept plan application is considered, any member of the Village Council may make any comments, suggestions or recommendations regarding the concept plan application deemed necessary or appropriate by that member; provided, however, that no final or binding action shall be taken with respect to any concept plan application. Any views expressed in the course of the Village Council's review of any concept plan application shall be deemed to be only preliminary and advisory and only the individual views of the member expressing them. Nothing said or done in the course of such review shall be deemed to create, or to prejudice, any rights of the applicant or to obligate the Village Council, or any member of it, to approve or deny any preliminary plan application following full consideration thereof as required by this Code.

The following materials are the minimum required for the processing of a concept plan review by the Village of Winnetka's Village Council. There is no filing fee for the concept plan review; however, review of a submitted formal *preliminary planned development* application will require payment of a filing fee(s). If you have questions regarding the completion of this process contact the Community Development Department at (847) 716-3525.

Current Property Owner Information

Legal Name: CCF Winnetka LLC

Primary Contact: Clark Golumbo

Address: 216 W. Ohio St., 5th Floor

City, State, Zip: Chicago, IL 60654

Phone No. 312 620-1100

Email: clark@ccfbridgeloans.com

Applicant Information

Legal Name: Swanson Development LLC

Primary Contact: Rick Swanson

Company: Swanson Development LLC

Address: 1930 Amberley Court

City, State, Zip: Lake Forest, IL 60045

Phone No: 847 757-3975

Email: rick@mswanson.com

Property Information (if more than one parcel is involved in the request please include the information for all parcels)

Site Location/Address: 688 & 694 Green Bay Rd.

Parcel Identification Number(s) (PIN): _____

Dimensions and Size of Parcel(s): 2-parcels, 50'-0" x 150'-0" Gross lot area: 15,0000 sf

Current Zoning: B-1 Multifamily

Current Use of the Property: single-family/vacant lot

Applicant's Current Interest in Property: Contract Purchaser

REQUIRED MATERIALS FOR SUBMISSION

The Applicant must provide 1 hard copy and 1 electronic copy (.pdf), of the following information to Village staff at least **two weeks prior** to the Village Council meeting date. The Council meets on the 1st and 3rd Tuesdays of the month.

- If the Applicant is **not** the owner of the subject property, the **current property owner** must submit written authorization allowing the Applicant to pursue the requested action. This letter must be received by Village Staff prior to placing an item on the Village Council agenda.
- A sketch site plan drawn to scale showing the general layout of proposed buildings and land uses within the property, as well as the general location of vehicular parking and circulation areas and pedestrian circulation systems. Showing the context of the site plan in relationship to surrounding parcels and land uses as well as the adjacent street and sidewalk network would be helpful.
- A narrative describing the general scale, use and character of the proposed development, including the proposed categories of land uses for property. The narrative should also include a general outline of the project's overall building footprint, impermeable surface area and gross floor area, as well as a summary of the anticipated number and size of **residential** units and parking spaces for a residential development and the number, type and size of proposed uses, as well as anticipated parking areas for commercial developments;
- A general visual description or images of the architectural style of the proposed development;
- List of zoning and subdivision exceptions that the planned development requires for approval;
- The general location and extent of compensating benefits as required by Section 17.58.120 B; the following is a non-exclusive list: (1) the provision of community amenities for public use, such as plazas, malls, formal gardens, places to congregate, outdoor seating, and pedestrian facilities; (2) the preservation of existing historic features; (3) The dedication and provision of public open space and public recreational amenities, such as recreational open space, including accessory buildings, jogging trails, playgrounds, and similar recreational facilities; (4) the adaptive reuse of existing buildings; (5) the provision of public car and/or bike share facilities; (6) the provision of off-street public parking spaces; (7) the provision of affordable housing units; (8) the incorporation of building and site elements that enhance the environment and increase sustainability; and (9) the provision of uses, spaces, or infrastructure that provide a benefit to the public and which there is a demonstrated public need.
- The nature, scope and extent of public dedications, improvements or contributions to be provided by the applicant; and
- Applicant's qualifications to carry out the proposed development.



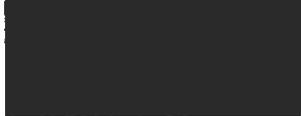
216 W. Ohio St, 5th Floor Chicago, IL 60654 | phone: 312.620.1100 | fax: 866.218.0048 | info@ccfbridgeloans.com | www.ccfbridgeloans.com

June 3, 2019

Sir or Madam,

CCF Winnetka, LLC is the owner of the two properties located at 688-694 Green Bay Rd, Winnetka, IL and Continuum Capital Funding LLC, as the manager of the property for the property owner, acknowledge and approve of Rick Swanson of R.M. Swanson Architect submitting an application for a six-unit residential development on these properties.

Please feel free to call us if you should have any questions.

Sincerely, 

Clark Golembo

Manager, Continuum Capital Funding LLC, the manager of CCF Winnetka LLC



1930 Amberley Court
Lake Forest, Illinois 60045
(847) 457-6770 direct
(847) 757-3975 mobile
rick@rmswanson.com

May 16, 2019

David Schoon
Community Development
Planning Division
Village of Winnetka
510 Green Bay Rd.
Winnetka, IL 60093

Re: 688 & 694 Green Bay Rd.

Mr. Schoon,

We respectfully request the Village of Winnetka's careful consideration of our proposed multi-family residential project at 688 & 694 Green Bay Road. There were two existing single-family residences on the respective parcels. One of the two has been demolished and the other to be demolished as a condition of our approval process. The properties are currently zoned B-1 Multi-family and will be consolidated as one lot under this zoning designation. We have reviewed the regulations for this zoning district and will comply with all requirements except two, which we intend to seek variances.

The proposed building will be comprised of 6- luxury 2,200 sf flats in 3-stories with 12-below ground parking spaces and a fourth story for owner storage space and common area indoor lounge. The fourth story will also include a 700-sf roof deck and garden. Two guest parking spaces will be provided in the rear with additional street parking available on Green Bay Rd. Ceiling heights will be 10'-0" for each floor to meet consumer demand and provide a more historically correct placement of fenestration to the exterior of the building.

The proposed architectural design vernacular embraces the English Country Manor style, which is consistent with the Village's aesthetic character. Exterior materials will include reddish/brown face brick and limestone trim and water table on all four elevations. The window frames will be black with simulated divided lite muntins and private balconies will be faced with wood trim and include black wrought iron rails, balustrades and spindles. The pitched roof elements will be Da Vinci artificial slate shingles with copper decorative finials, gutters and downspouts.

We will be requesting variances for the following:

Maximum Floor Area Ratio: The current B-1 zoning designation allows a maximum floor area (FAR) of 80% of the gross lot area. For this site, we have 15,175 sf of lot area, which would provide 12,140 sf of allowable floor area. The total proposed gross area of floor 1 thru 3 is 15,528 sf not including the balconies, which total 891 sf. The gross floor area of the proposed storage and lounge on the 4th floor is 1,362 sf. The

gross area of the underground Garage is 5,176 sf, which may or may not be counted based on exposure of mass above existing grade. The total gross area of the proposed building is 17,781 sf (109% of lot area) including 1st thru 4th floor and open balconies. The gross area would increase to 22,957 sf (151% of the lot area) if 100% of the underground garage were to be counted. We are providing all floor area information to properly vet the mass of each building component to determine what elements truly create the appearance of mass and scale. While we believe the Garage space to be visually benign, any area that is greater than 3'-0" above existing grade to the first-floor elevation must be included per current design guidelines. Our proposed design is approximately 3'-0" above existing grade and will ultimately be affected by how the final engineering of the site is ultimately reconciled. However, there are areas on the west elevation that must be technically considered in the floor area and we will work proactively with the Village to embrace the spirit of FAR language in the ordinance.

Maximum Building Height: The current maximum allowable building height for this zoning classification is 35'-0" from the first-floor elevation to the highest point of the proposed structure. Our plan proposes a 50'-6" height from the first-floor elevation to the peak of the highest gable elements located on the north and south facades. The corner tower roof elements will be 45'-2" to the peaks. The parapet will be 39'-4" using the same method of measurement. That portion of the roof mass measuring 50'-6" is decorative gable; intentionally located in the center of the building to screen from the east and west view perspectives. As a result, the streetscape mass that will be visible is dominated by the 39'-4" parapet and framed on each corner by the 5'-2" pitched roof elements. Note that we are also proposing 10'-0" ceiling heights for each of the floors, which is a standard design requirement for north shore residences in this market. Village code also provides that principal roof forms provide connection between the eaves. We attempted to creatively utilize this mass by discreetly placing the mass away from the street view and providing logical purpose by way of storage and roof access.

We have also given thought to the compensating benefits our project will provide to the community. Some projects offer more than others based on location and scope. Our proposed building will provide significant improvement to the Green Bay Road streetscape by removing unsightly structures and further enhance the gateway to Winnetka from the north. This will include architecture that is consistent with the aesthetic character of the community and safer access to the site. All site improvements will be privately owned and not require dedication and or perpetual maintenance to the Village. Public utilities are available and will adequately serve this project.

We appreciate this opportunity to present our project to the Village Council and look forward to discussing this in more detail with you on July 16th.

Respectfully,



Rick Swanson AIA, NCARB
Managing Member

GREEN BAY ROAD



SITE DATA

Lot Size: 15,175 sf (0.38-acre)
 Building Footprint: 51,765 sf
 Building Floor Area: 16,800 sf (including 1,360 sf of enclosed roof area)
 Density: 61 Units
 Average Unit Size: 215 sq ft
 Gross Impervious Area: 6,970 sf
 Building Height: 42' @ 10th Floor Cap
 Building Height: 57' @ Highest Peak Point
 Parking: 174 Spaces @ 2:1 Ratio, Total 14 spaces

SITE PLAN

Existing 4-Story Condo Building



WILLOW TRACE RESIDENCES

688 GREEN BAY RD, WINNETKA, ILLINOIS

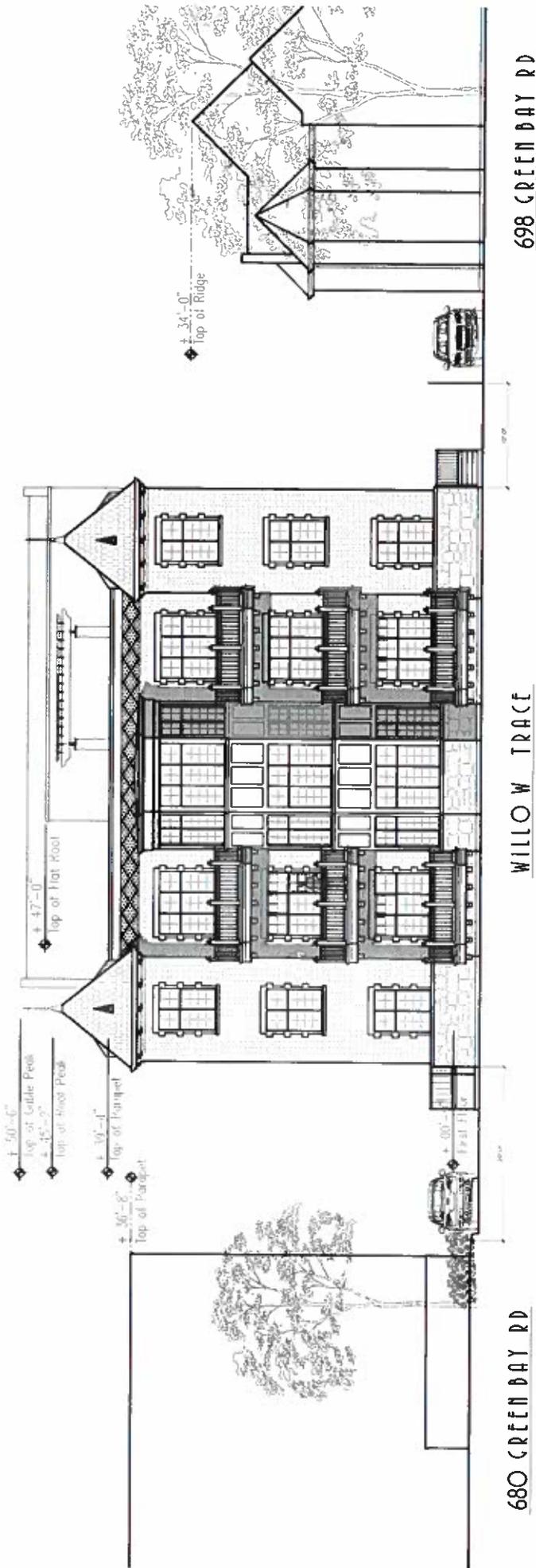


S O U T H V I E W

EIR
SWANSON
 ARCHITECTS
 1000 N. Lake Street
 Suite 100
 Winnetka, IL 60093
 Tel: 847.440.1100
 Fax: 847.440.1101
 May 12, 2019

WILLOW TRACE RESIDENCES

688 GREEN BAY RD, WINNETKA, ILLINOIS



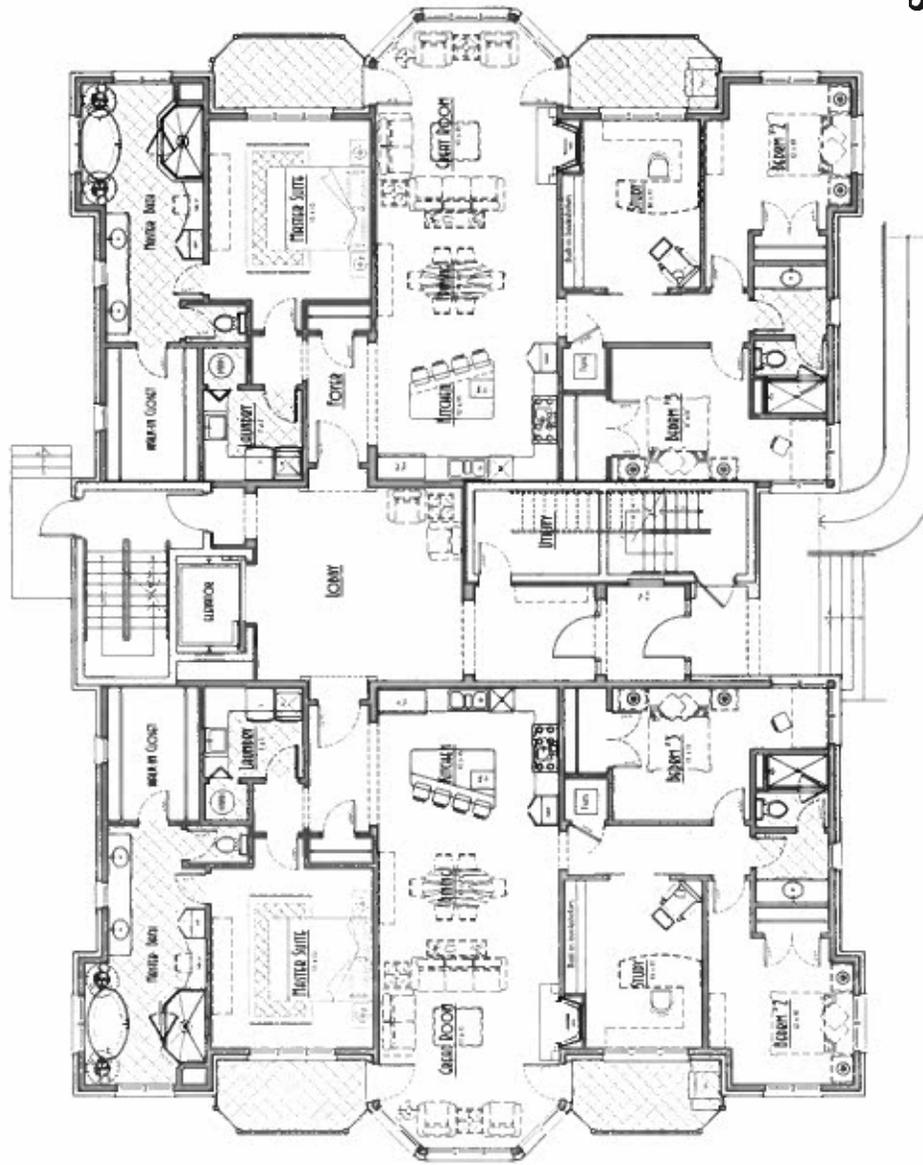
STREET VIEW



JULY 1, 2015

WILLOW TRACE RESIDENCES

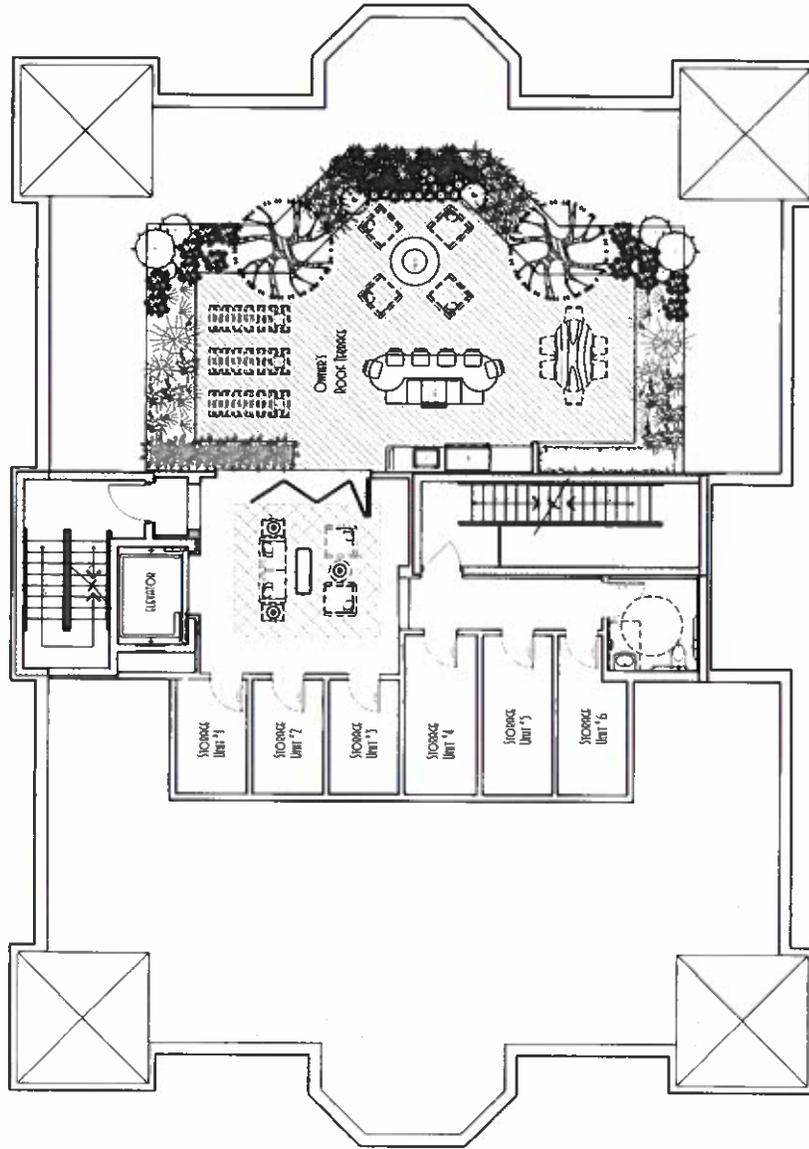
688 GREEN BAY RD, WINNETKA, ILLINOIS



FIRST FLOOR PLAN

WILLOW TRACE RESIDENCES

688 GREEN BAY RD. WINNETKA, ILLINOIS

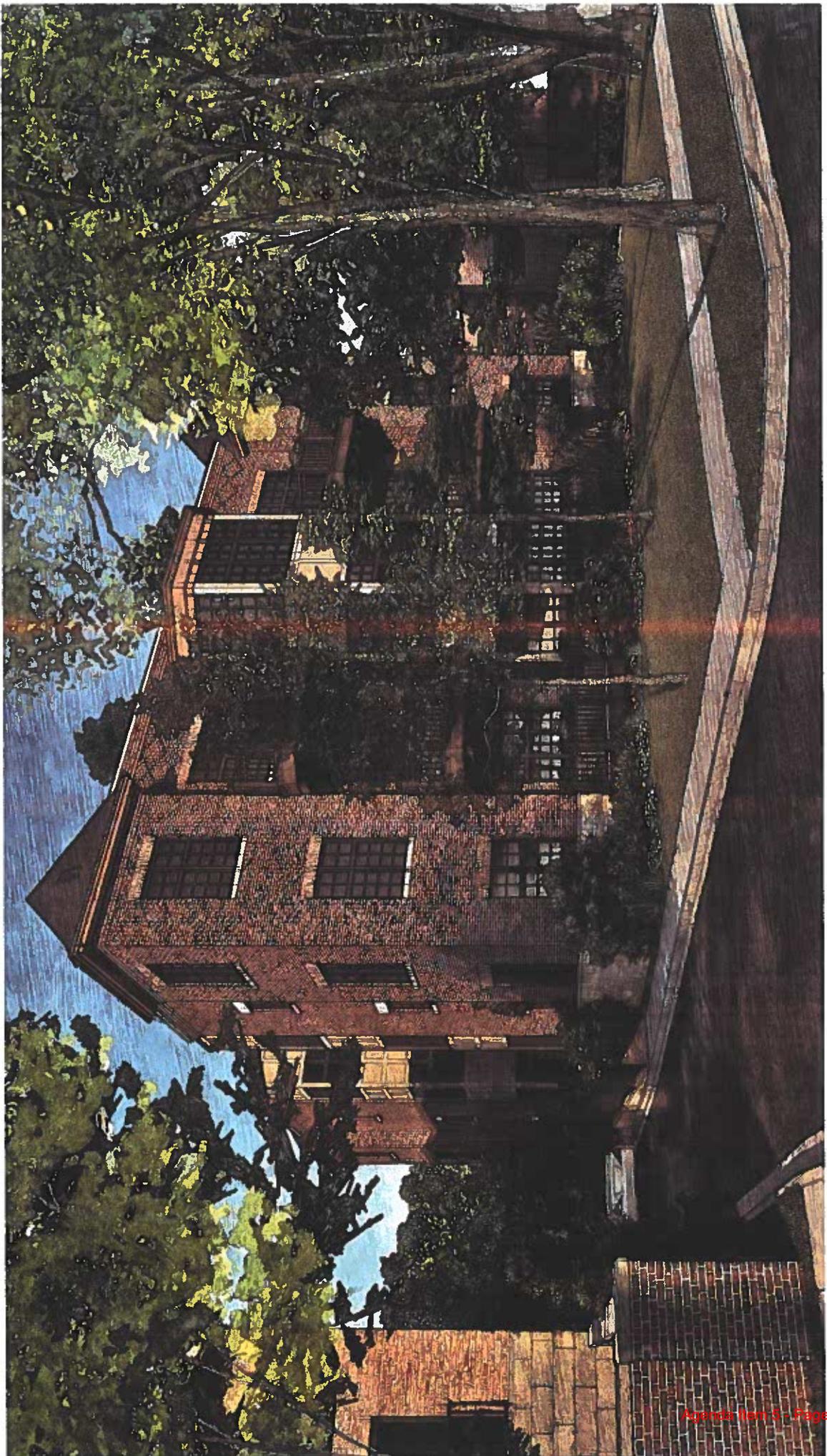


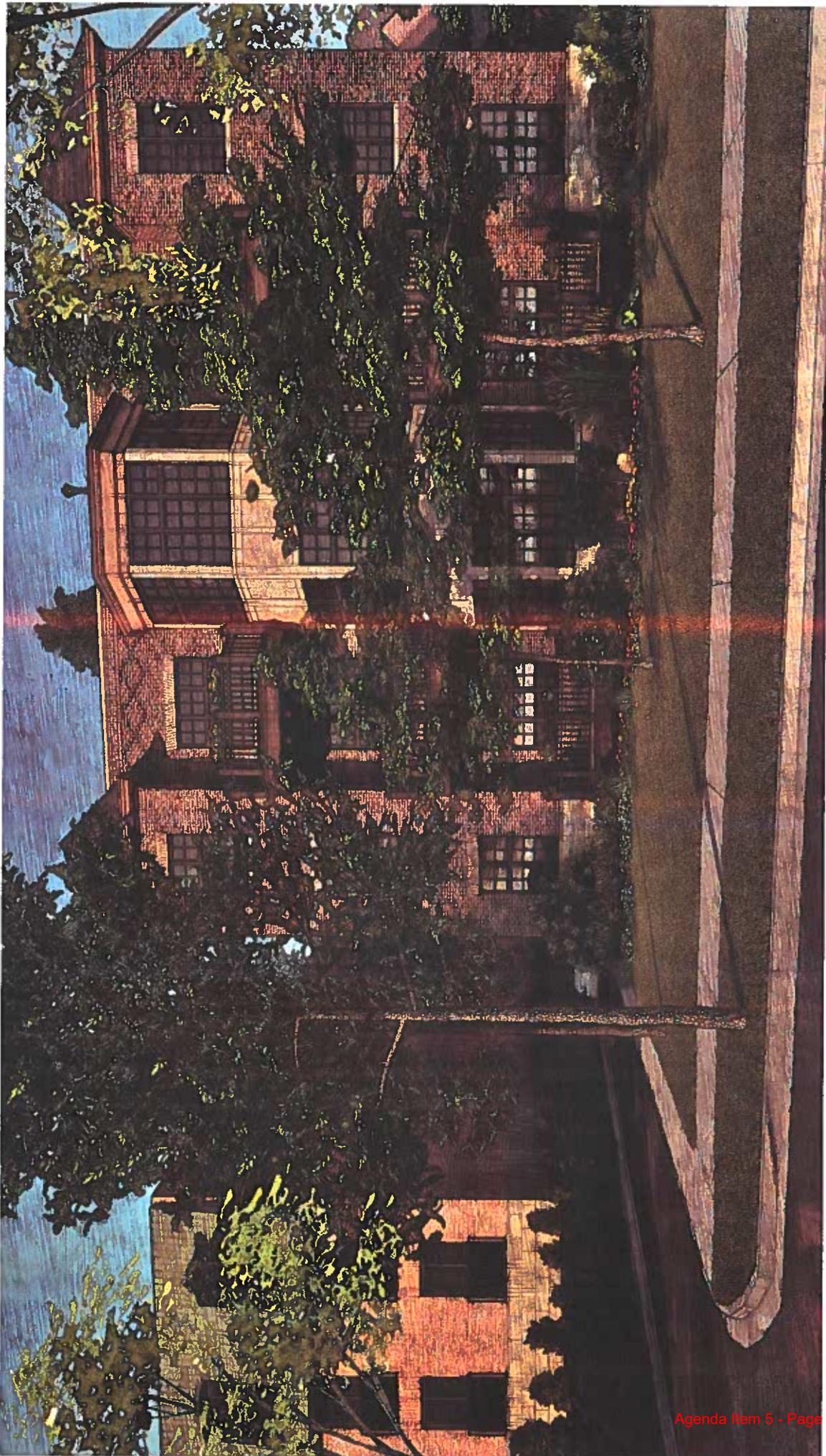
JM SWANSON
 ARCHITECTS
 1000 N. WISCONSIN ST.
 SUITE 200
 WINNETKA, IL 60093
 TEL: 847.399.1100
 FAX: 847.399.1101
 MAY 3, 2018

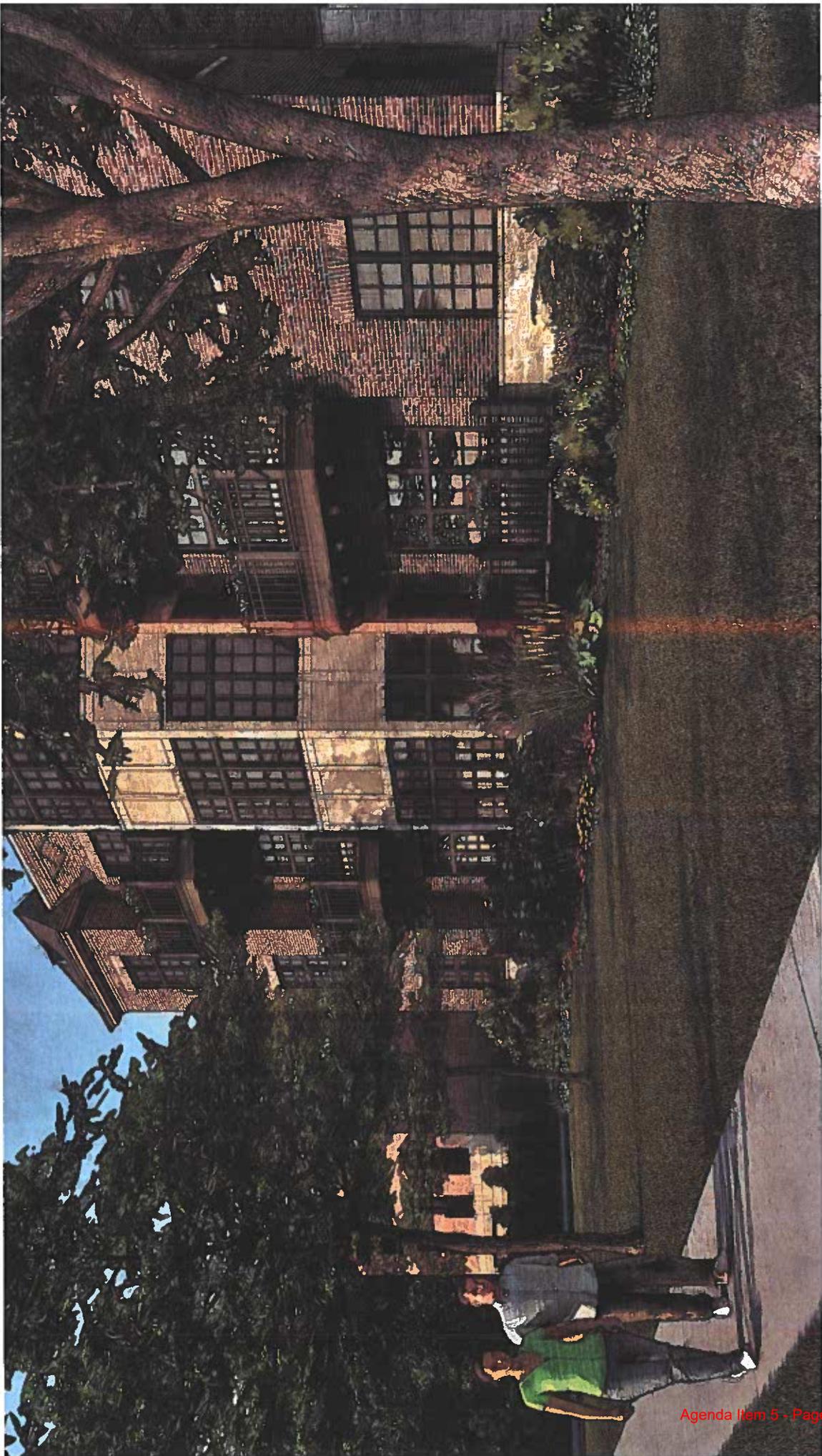
ROOF FLOOR PLAN

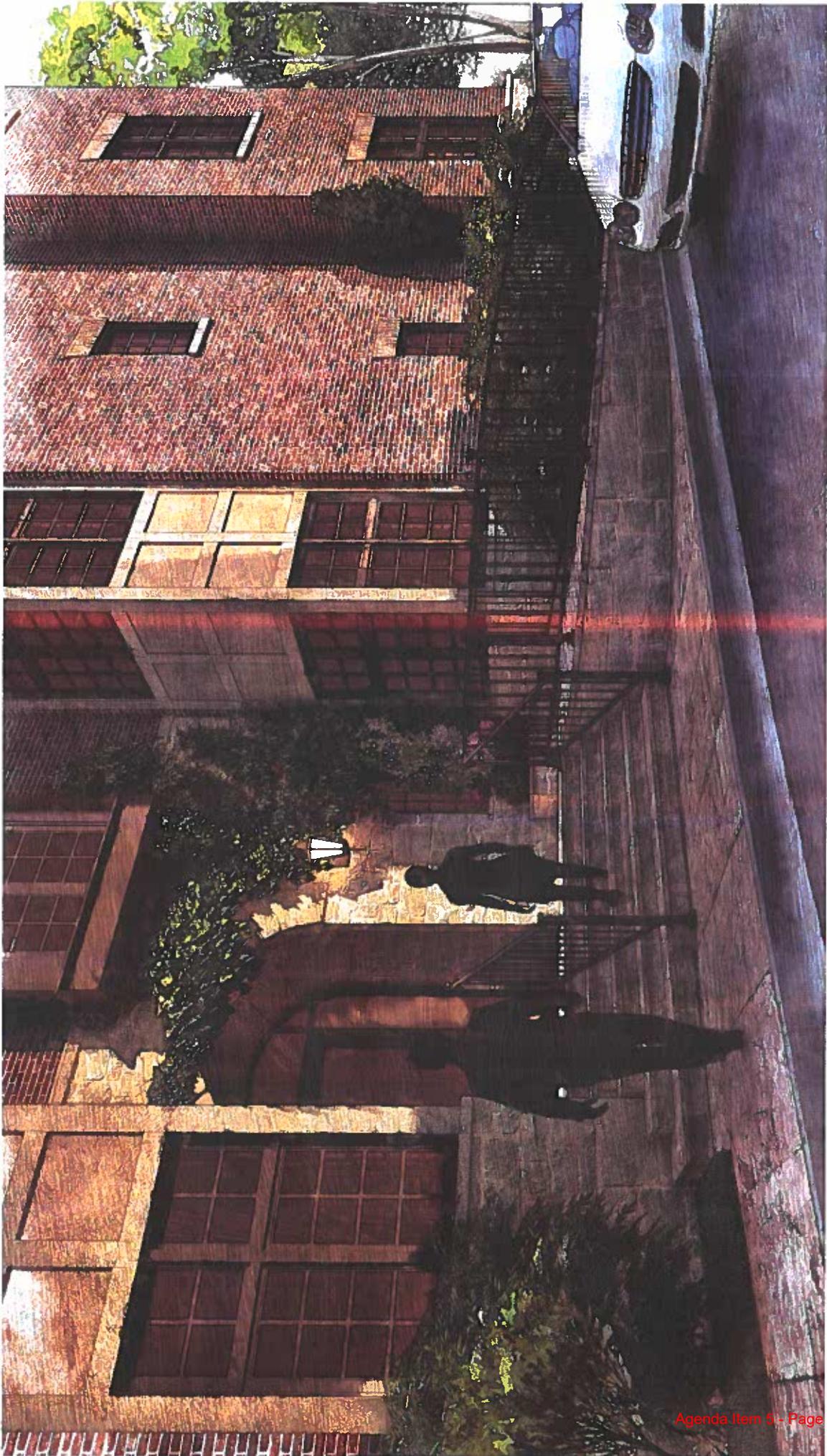
WILLOW TRACE RESIDENCES

688 GREEN BAY RD. WINNETKA, ILLINOIS













ATTACHMENT B - PHOTOGRAPHS OF AREA PROPERTIES



Figure 6 – 696-698 Green Bay Road (duplex building to north)



Figure 7 – 700-708 Green Bay Road (townhouses to north)



Figure 8 – 720 Green Bay Road (multi-family building to north)



Figure 9 – 680 Green Bay Road (multi-family building to south)



Figure 10 – Winnetka Mews (multi-family building to south)



Figure 11 – 677 and 681 Walden Road (single family homes to west)

Attachment D - Photographs of Area Properties



696-698 Green Bay Road (duplex building to north)



700-708 Green Bay Road (townhouses to north)



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680 Green Bay Road (multi-family building to south)



· Winnetka Mews (multi-family building to south)



677 and 681 Walden Road (single family homes to west)

The Village of

Winnetka

Design Guidelines



Village of Winnetka, Illinois

Design Guidelines

Building and Architecture

I. Contextual Design

Commercial, mixed-use, institutional and **multiple-family development projects** should reflect an understanding of the immediate site surroundings and the village-wide character. Contextual design reflects existing features including massing, height, setbacks, proportions, scale, roof forms, materials, articulation, lighting, signs and awnings while creating appropriate architectural design.

The prevalence of the English Tudor style throughout the Village dictates smaller structural bays and massing, limited building heights, variety in roof forms, mix of materials and special attention to detailing and fenestration proportions and patterns. It is not the intent of these guidelines to recreate traditional architectural styles that do not allow for contemporary architectural designs or materials, but to provide a framework within which good design can flourish in context and enhance the existing Village character.

II. Uses

The three districts have a mix of uses that includes commercial, mixed-use, institutional and multiple-family facilities.

Exclusively commercial buildings make up a small percentage of the structures within the districts. They are typically single-story buildings that house a single retailer with on street frontage and a large expanse of storefront. These buildings are strongly horizontal with large sign bands and varying stylistic detailing.

Most buildings in the commercial districts are mixed-use. The architectural designs are based on a traditional two-part structure with retail on the ground floor and offices or residences above. The facades clearly separate the two uses through changes in materials and wall plane as well as changes in fenestration, with large glass storefronts on the street level and punched windows above creating a hierarchy of public versus private spaces. In select locations, where large or awkward site geometry suggest, alternatives to the existing mixed-uses may encourage the use of first floor courtyards or pedestrian ways instead of uninterrupted commercial space.

Institutional buildings include a wide variety of building types and uses such as civic buildings (Village Hall), schools, libraries, churches, recreational facilities and utilitarian public works facilities. Most institutional structures located within the Elm Street District are designed in the Classical Revival, Contemporary or Georgian styles. Most schools and churches are located within residential neighborhoods. Typically, institutional structures are freestanding and larger in scale as they represent unique aspects of community life: governmental, religious and educational. The design of institutional buildings, whether new or an alteration to an existing building, should reflect the context of their immediate surroundings and respect the existing neighborhood while identifying their function.

Design Guidelines

Multiple-family buildings are structures limited to residential use only including condominiums, townhomes and apartment buildings.

III. Historic Buildings & Building Elements

Although the Village of Winnetka developed from a plat recorded by Charles E. Peck in the 1850's, many of the commercial structures in the main shopping districts were built during the 1920's. Future project designs should reinforce the established character, massing and scale. New developments and alterations are encouraged to incorporate historic building elements and forms from adjacent structures in order to maintain a cohesive district. (See figures 9, 10, 11, 12, 13)



Figure 9



Figure 10



Figure 11



Figure 12



Figure 13

Village of Winnetka, Illinois

IV. Style(s)

In Winnetka, a variety of architectural styles has flourished, the most common of these are:

- a. **English Tudor.** The most prominent Winnetka architectural style is characterized by a mixture of materials, medieval detailing, human scale and proportion. A typical commercial building has a heavy masonry base with the upper floors articulated by timber and stucco bays and punched windows. Most of the Tudor buildings range from 1-½ to 2 -½ stories in height. The top story is usually concealed under a steeply pitched roof interrupted by cross gables and dormers. (See figures 14 & 15)
- b. **Georgian.** Several prominent institutional buildings reflect the Georgian style, which is characterized by a symmetrical facade, hipped roof with gabled entry, classical detailing and the use of quoins to articulate the corners. Georgian buildings are generally constructed of brick with limestone detailing. The fenestration pattern on Georgian buildings is typically small stacked punched openings with double-hung, divided-light windows. (See figure 16)
- c. **Art Deco.** Art Deco is a style of decoration consisting largely of low-relief geometrical designs of straight lines, zigzags, chevrons and stylized floral motifs. The style is a conscious expression of modernity and the machine age. Exterior architectural materials vary from smooth faced concrete and stone to metal, terra cotta and glass. Predominant Midwest Art Deco buildings, as exemplified in Winnetka, are built of dressed limestone and are generally horizontal, most often single story commercial structures with low-relief stylized designs at the sign band. (See figure 17)



Figure 14 English Tudor



Figure 15 English Tudor



Figure 16 Georgian

d. Dutch Colonial. Dutch Colonial shares some common elements with English Tudor most notably the roofline. Most colonial buildings range from 1 ½ to 2 stories and have a steeply pitch roof with a gable or dormer interrupting the roofline. Dutch Colonial buildings are usually constructed of brick with simple abstract detailing. (See figure 18)

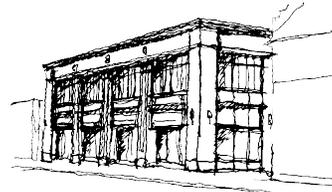


Figure 17 Art Deco

e. Contemporary. Contemporary architectural styles include buildings that were built within the past forty years and vary greatly in design, materials and detailing. They range in height from 2-½ to 4 stories. Many have not reflected Winnetka’s character in terms of scale or design. The more recent contemporary buildings incorporate historic elements into facade articulation. (See figure 19)



Figure 18 Dutch Colonial

V. Building Mass

Massing of a building should acknowledge the size of adjacent structures. Any changes in massing should relate to the primary and secondary building facades, the structural bay rhythms and the hierarchy of the use of the building. Massing of additions should respect the existing building volumes and contribute to the identity and hierarchy of the original building.



Figure 19 Contemporary

a. Setbacks: Setbacks are defined as the relationship of the facade to the property line. Upper level setbacks on the primary and secondary street fronts are not allowed except as indicated below.

Commercial and Mixed Use: A continuous “streetwall” along primary commercial thoroughfares should be provided and building facades should be located to create this uniform setback. While commercial zoning standards provide for front setbacks of up to 3 feet, new developments should align with adjacent buildings along the property line. In the Indian Hill Business District, restricted sidewalk widths may warrant a setback of 1 to 3 feet, to be evaluated on a case by case basis. Setbacks should be provided where appropriate to enhance landscaped areas and/or widen restricted sidewalks to provide appropriate widths. The main facade should be orientated to the primary commercial thoroughfare.

Upper level setbacks, which create continuous open terraces, are not allowed on the primary facades. Small setbacks (such as 10’-0” maximum), no greater than one bay width (maximum 20’-0”) with a continuous roof eave line, will be considered on upper floors only. The ratio of upper level setbacks must be considered with regard to the building’s proportions and scale. No continuous upper level setbacks or corner setbacks will be considered.

Roof gables should be in the same plane as the primary building facade except for the 6”-12” projections allowed under Section VI.c, Articulation. Roof eaves should meet and project beyond the primary facade to create horizontal rhythm. (See figure 20) Buildings located on corner sites should hold the property line or “streetwall” at the intersections of both thoroughfares. Slightly rounded or angled building corners at intersections are acceptable to enhance the pedestrian flow and visibility.

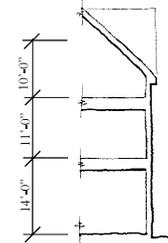


Figure 20

Institutional: Institutional buildings are located throughout the village in various zoning districts and are most often freestanding structures. They frequently function as a transitional element between zoning districts. If an institutional building is located within a commercial district, the mass of the building is encouraged to break from the “streetwall”, creating open public space, establishing the hierarchy of the building within its context and creating both a focal point and a visual relief within the commercial district. Additions to existing institutional structures should respect the established setbacks of the original building and should be sensitive to the context of the surrounding zoning area, particularly residential neighborhoods.

Multiple-family Residential: Multiple-family residential buildings are generally located along Green Bay Road, creating a transition between a commercial thoroughfare and single-family residential zones. The B-1 and B-2 multiple-family residential zoning districts call for a 25’-0” front yard setback whereas multiple-family buildings within the C-1 and C-2 zones require a 1’-0” to 3’-0” setback. New multiple-family developments occurring at the edge of the C-1 and C-2 districts should have a front yard setback of 1’-0” to 6’-0” to create a transition between the commercial and residential districts. The primary facade should be located on the main thoroughfare for all zoning districts.

b. Height: Existing building heights in the commercial districts vary between single-story commercial buildings to 3-story mixed-use and institutional structures.

Commercial and Mixed Use: The existing building heights are consistent at 2-3 stories within the heart of the commercial district. Buildings of this height are appropriately located within dense pedestrian districts and along Green Bay Road whereas buildings of 1 and 2 stories function well as transitions to single-family residential areas. Single-story buildings are appropriately located along the automobile-oriented south end of Green Bay Road at Indian Hill. Based on existing building heights, new buildings or building additions should have transitional elements or bays such that the new building height will not vary more than ½ story lower than the immediate adjacent buildings while complying with the requirements of the zoning ordinance. (See figure 21) The current zoning restricts all building heights to 2 ½ stories within the B and C zoning districts.

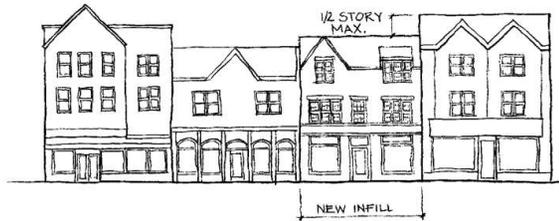


Figure 21

Institutional: The height of institutional buildings will vary depending on the use and location of the structure. Institutional buildings located within the commercial zoning districts (C-1 and C-2) are typically more monumental in scale and massing, and the minimum height to the eave line or parapet should not be less than 30% of the length of the primary facade or 25 feet, whichever is greater. The maximum height must conform to the existing zoning requirements. The height of institutional buildings located in the multiple-family (B-1 and B-2) or single family (R-1 through R-5) zones should be sensitive to the surrounding buildings and must conform to the existing zoning requirements. Additions to existing facilities should respect the existing heights and not differ from the established eave line by more than ½ story. Additions and alterations should be sensitive to the context of the surrounding zoning area.

Multiple-family Residential: Many of the older multiple-family residential buildings are built to the outdated zoning standard height of four stories, whereas the height of recent and new multiple-family developments is limited to 35 feet and 2 ½ stories.

- c. **Roof Forms:** Roof forms contribute to the massing, scale and proportions of all buildings. Manipulation of the form can help distinguish between residential, commercial and institutional structures. Sloped roof systems, while containing the commercial ½ story defined by the zoning ordinance, should have eave lines that extend to the perimeter of the building eliminating upper story setbacks at the primary elevation. The continuous length of any roof on a primary facade should be limited to

20'0", without a break in plane using dormers, gables or hip roofs. These should be designed in conjunction with the Vertical Rhythm, Section V.Ib.

Commercial and Mixed Use, Multiple-family Residential: The predominant roof form within the districts is a pitched shingle roof with cross gables, projecting eave line and brackets reflecting the structural bay rhythm of the building. Variations of the gable and roof pitch contribute to the general breakdown of the building mass and contribute to the steady streetwall rhythm. No roof pitch is to be greater than 60 degrees (21:12) or less than 35 degrees (8:12). (See figures 22 & 23)

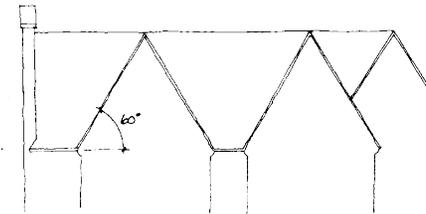


Figure 22

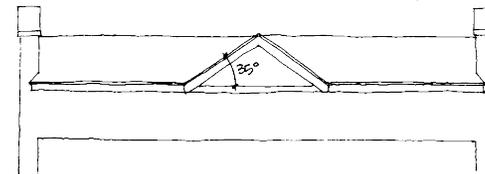


Figure 23

Institutional: The roofs of the institutional buildings should have shallower sloped roofs than the commercial structures and be composed of basic gable, hipped or flat roofs. The pitch of sloped roof systems should range between 25 degrees (6:12) and 45 degrees (12:12). Contextual sloped and gabled roofs are preferred. Flat roof systems must be concealed from view by a decorative parapet. The roof structures should not break up the mass of the structure, but emphasize overall volume through a uniform ridge, eave or parapet line. A cross or open gable can be introduced to provide hierarchy to the facade and identify the entry or wings. Additions to institutional structures should respect the existing roof form and slope, however, the height of the ridge, eave and parapet line can vary per the height restrictions outlined in Section V.b. (See figures 24 & 25)



Figure 24

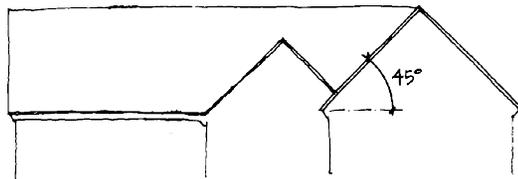


Figure 25

VI. Proportion/Scale

Winnetka’s original 1920’s comprehensive plan was designed before the prevalence of the automobile and therefore was pedestrian oriented. Although the automobile dominates life in the 21st century, it is the intent of the Village to retain a positive pedestrian experience within the Village commercial centers. The character of the Village requires that a pedestrian balance be retained and encouraged. Unless noted otherwise, any alteration to the commercial districts must be designed to fulfill this goal.

- a. **Horizontal Rhythm:** The breakdown of the building facade into horizontal bands provides human scale and proportion to the facade. The relationship of horizontal banding among buildings can unify the street elevation.

Commercial and Mixed Use: The commercial district must convey the hierarchy of the pedestrian experience through the development of horizontal rhythms. The height of the street level elevations (floor to floor) should be 20% greater than the upper floor to floor dimensions. A building base, middle and top should be strongly articulated through materials, details and changes in the plane of the wall. The retail storefront façade should be differentiated from the facade of the upper stories. (See figure 26) The street and storefront facade should be horizontal, contiguous and harmonious with the adjacent and facing structures. Storefront systems, awnings, and entrance doors should be selected to be harmonious and similar to the adjacent buildings’ scale and proportion.



Figure 26

Institutional: Institutional structures such as civic buildings and churches convey hierarchy through larger massing, scale and proportion. The base of the building should be articulated separately from the upper floors to give the building weight and an appearance of solidity, reliability and endurance. The height of the first floor should be a minimum 20% greater than the height of the upper floors. To add to the formality of an institutional structure, an elevated first floor should be considered while complying with Federal and State ADA requirements (refer to Section VII.f). Additions to existing structures should respect the existing horizontal rhythms in order to maintain and enhance the original scale and proportion of the structure.

- b. **Vertical Rhythms:** The breakdown of the building facades into vertical bays creates a sense of progression and scale to the streetwall as well as individual buildings. Vertical rhythms break down the length of a building while unifying the floors from grade to eave. Fenestration patterns will emphasize the vertical rhythms, see Section VI.d.

Commercial, Mixed Use, Multi Family Residential: Facades are to be articulated to express a vertical rhythm that is directly related to the structural columns and bays. Structural bays should not exceed 20 feet in width.

Structural elements and bays should be architecturally articulated on the facade to add interest, scale, proportion and detail. Structural bays should be recessed and/or projected approximately 6”– 12” to provide a variety of changes of plane, interest in light and shadow and to establish a hierarchy with the architectural elements. Some variation of facade materials from bay to bay is encouraged. No building facade that faces a street or pedestrian open space may have a blank uninterrupted length greater than 20 feet.

Institutional: The scale and proportion of institutional buildings should be appropriate to the function and use of the building. The scale of prominent civic buildings such as a village hall or central library would differ from a recreation

center. The facades of prominent civic buildings are to be articulated so as to distinguish them from their context. Emphasis of the vertical rhythms and structural bays should be minimized to provide a larger building mass to establish the hierarchy of the building. Vertical rhythms should reinforce the importance of the structure with 1 to 10 foot projections restricted to larger building masses that span 40-60 feet. The large-scale change in mass will establish hierarchy within the building facade. (See figure 27) Educational, recreational and public works facilities located near or adjacent to a residential district, should provide a contextual design sensitive to the neighborhood.

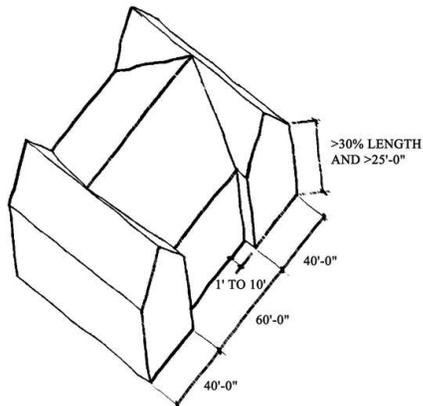


Figure 27

- c. **Facade Articulation:** Articulation is achieved through the combination of materials, introduction of detailing and changes in plane of the facade.

Commercial, Mixed Use and Multiple-Family Residential: Facade elements should be recessed and/or projected to provide a variety of changes of plane, interest in light and shadow and to establish a hierarchy with the architectural elements. Building facades are to be proportioned to respect human scale and the existing prevalent scale of the Village's architecture. No building facade that faces a street or pedestrian open space should have a blank uninterrupted length of wall greater than 20 feet. In addition, the proportion of the fenestration should comply with Section VI.d.

Commercial and Mixed Use: Ground floor /storefronts that face public streets, adjacent development or pedestrian open space should be subdivided using fenestration along no less than 60% of the facade.

Institutional: Civic and religious institutional buildings tend to be larger and the facade articulation should be restrained so that the massing is emphasized. Vertical rhythm should be created by the articulation of stacked windows and doors.

- d. **Fenestration:** The pattern of wall penetrations is created by window and door openings.

Primary facades are defined as facades facing a street or pedestrian open space.

Secondary facades are defined as facades facing pedestrian parking areas or alleys.

Windows should be recessed back from the overall plane of the building facade at the window head and sill to create additional articulation and shadow.

Strip windows are not allowed.

Commercial and Mixed Use: In order to provide a desired proportion of fenestration the following guidelines should be met:

Primary facade: At least 60% of the first floor facade is to be windows/storefront or entrances. (See figure 28) At least 25% but no more than 40% of the upper floors are to be windows or doors. (See figures 29 & 30) Note: Percentage is based on the total facade square footage, which is calculated from the top of the first or ground floor to the top of second floor.



Figure 28



Figure 29



Figure 30

Secondary facades: At least 25% of the first floor facade is to be windows/storefront or entries. At least 25% of the upper floors are to be windows or doors. Note: Percentage is based on the total facade square footage, which is calculated from the top of the second floor to the underside of roof eave.

Institutional: Since most institutional buildings are freestanding and larger in scale, the fenestration pattern does not vary much between the primary and secondary facades. To provide a desired proportion of fenestration and to promote an appearance of solidity:

Ground floor facade: Windows or doors should interrupt 25% but not more the 50% of the wall area. Uninterrupted wall area should not extend for more than 20 feet without the introduction of blind niches or windows. Note: Percentage is based on the total facade square footage, which is calculated from the top of the first or ground floor to the top of second floor. (See figure 31)



Figure 31

Upper floor facades: At least 20% but not more the 50% of the upper floor's wall area should be interrupted by windows. Uninterrupted wall area should not extend for more than 20 feet. Note: Percentage is based on the total facade square footage, which is calculated from the top of second floor to the underside of roof eave. (See figure 31)

Multiple-family Residential: In order to provide a desired proportion of fenestration the following guidelines should be met:

Ground and upper floor facades: At least 35% but no more the 60% of the facade should be windows or doors.

e. Hierarchy: The prioritization of certain building masses, components or elements over others.

Commercial and Mixed Use: The hierarchy of public over private spaces should be conveyed by the facade. Public or retail spaces should be open and inviting through the introduction of storefronts with doors integral to the system. Private or office/residential spaces should have a separate entrance articulated independently from the storefront. (See figure 32)

Institutional: The primary facade should have a distinct public main entrance.

Multiple-family Residential: Multiple-family residences should have a distinct and articulated common entrance on the main facade(s). Town homes should have individually articulated entrances.



Figure 32

VII. Articulation

a. Entries: Proportion, scale, location and details should be used to differentiate public entrances from private or semi-private entrances at all uses.

1. Hierarchy

Commercial, Mixed Use and Institutional: The identity of the public entrance should be evident from the public way and differentiated from the semi-public and private entrances. Public entries should have a large-scale approach and be open and inviting whereas semi-public and private entries are integral to the adjacent building facade and more opaque.

Multiple-family Residential: Proportion, scale, location and details should be used to differentiate common entrances from private entrances.

2. Location

Commercial and Mixed Use: Public entrances should be located along the main thoroughfares and at corners. Private or semi-private entrances should be located either to the side of a single bay building or centrally for a multiple bay building.

Institutional: Public entrances, both main and secondary, should be located in a central location on the main facade or along major access routes or vistas. Services entrances should be remotely located from the open public space and not visible from the main public approach.

Multiple-Family Residential: Common entries will be oriented toward the main street or thoroughfare. Garage entrances should be oriented toward a secondary street, alley or away from the pedestrian way.

3. Detail

Commercial and Mixed Use: Typically, private or semi-private entrances should have a predominately solid door and be set in a masonry opening nearly flush to the building facade whereas the public or storefront doorway should be recessed and have an awning so as to provide protection from the elements for shoppers. Building entrances can be further defined by using subtle streetscape improvements such as pavers. Residential entrances should be clearly identified and dignified.

Institutional: Generally the public entrances are detailed to stand out on a facade through the use of articulation and location. In order to be open and inviting, public entrances should incorporate larger expanses of glass than secondary entrances.

b. Window and Door Fenestration:

Commercial, Mixed Use, Institutional and Multiple-family Residential: Punched single or ganged windows are required at upper floors but not allowed at street level on primary facades in commercial buildings. A combination of ganged and single units within the punched opening is encouraged to provide hierarchy to the facade. It is encouraged that the sill height of upper level windows align with adjacent buildings but should not be higher than 30" above finish floor elevation. See Section VI.d. Mullion and muntin divisions are required to maintain the scale of the districts and reduce large expanses of glass at the upper floors. (See figure 33) Strip windows are not allowed.



Figure 33

Commercial and Mixed Use: Storefront windows are required in commercial buildings on the primary facade at street level. Storefront windowsill heights cannot exceed 18". Secondary facades are encouraged to provide punched display windows to define the hierarchy of the primary facade over the secondary. (See figure 34)



Figure 34

Mixed Use and Multiple-Family Residential: Bay windows are allowed on upper stories of mixed-use buildings if the upper floors are designated residential and on upper stories of multiple-family residential buildings. Bay windows are to project a maximum of 12". (See figure 35)



Figure 35

c. Building Lighting

Commercial, Mixed Use, Institutional, Multiple-Family Residential:

1. Exterior Uses and Types: Exterior building lighting should be carefully designed. Incandescent and low voltage lighting may be allowed. Fixtures should be contextual with the building and adjacent building design. Building lighting should focus on providing light on building signs and enhancing architectural details on the facade. All lighting shall be located and shielded from direct visibility from any dwelling or public street per the Winnetka Village Code. Wall lanterns and architectural highlighting should be considered. Sodium and fluorescent lighting is not allowed. (See figures 36 & 37)
2. Sign Illumination: Signs located within 100 feet of the boundary of any residential zoning district may not be illuminated, per the Village Code.
3. Interior: Fluorescent lighting with exposed fluorescent lamps is discouraged in street-level interiors where visible from the public way.



Figure 36



Figure 37

d. Building Signage

Commercial signs should reflect the character of the building style, while expressing each store's individuality. There are several prominent sign styles that are appropriate to Winnetka: surface mounted, pin-mounted, interior, decal and projecting blade signs. Sign materials are limited to painted wood, canvas, architectural glass and metal. Sign color must harmonize with the building upon which it is mounted and adjacent structures. Background colors for the body of the sign are limited to earth tones and primary colors, whereas pastels, neon and secondary colors are not allowed. Lettering color can be unique to the image of the retailer/user. Metal sign and plaque material such as brushed bronze, antique bronze, aluminum, stainless steel and painted cast iron or similarly appearing materials are preferred. Highly reflective metallic signs are not allowed. Signs should be lit by marquee or spot lighting; neon lighting is not permitted. Spot lighting should be minimal and unobtrusive and, per the Village Code, the source of illumination shall not be visible from any street, sidewalk or dwelling. Simplified industrial light fixtures are not permitted. Contextual solutions are recommended. The majority of the signs will be mounted within the building's sign band, defined as the wall area located above the ground floor storefront opening and below the second floor windowsill, and is located a minimum of 8'-0" above grade and a maximum of 15'-0" above grade.

Signs must comply with the general provisions of the Winnetka Sign Ordinance as well as design provisions contained within these Design Guidelines.

1. Surface mounted commercial signs are either fabricated from painted wood or cast metal plaques and are to be mounted within the sign band or within the storefront transom. The height of the sign is restricted to 75% of the area of the sign band or 14 inches - whichever is less. The sign band of a building consists of the area located above the ground floor storefront opening and below the second floor windowsill, and is located a minimum of 8'-0" and a maximum of 15'-0" above grade. Refer to figures 28, 29, and 30 for location. Surface mounted or pin-mounted signs are not permitted on secondary elevations without a defined sign band.

2. Pin-mounted commercial signs consist of reverse channel, cast metal and flat cut metal letters mounted above the storefront in the masonry sign band or suspended in front of the storefront at the transom or recessed entry. The size of the lettering is restricted so that the height of the letters does not exceed 75% of the height of the sign band or 14 inches - whichever is less. The length of the lettering is to be contained within 75% of the length of the sign band. (See figure 38)



Figure 38

3. Interior signs floating independently are set behind the glass either at the transom or at the sill of the storefront and are lit from a separate source. This sign must adhere to the size limitations of the decal signs. (See figure 39)

4. Decal Signs are defined as painted or vinyl transfer letters and numbers. Decal signs can be mounted within the transom and at the lower section of the storefront window area so as not to interfere with the merchandising. The decal sign area at the lower section of the window can occupy up to 10% of the glass area of a single pane. Decals mounted at the transom are restricted to 50% of the area of the transom. Decals located at the lower section of the main display area are to be limited to 6" in height unless they contain store operation hours, which are restricted to 2". (See figure 40)



Figure 39

Figure 40

5. Projecting blade commercial signs can be round, square or vertical, mounted from the face of the building at the second floor level between the windows or at the head of the storefront and are oriented to pedestrian scale. The signs are to be mounted on fixed hardware; no swinging or chain-mounted signs are allowed. The dimensions of the sign are not to exceed 6 square feet (36" high and 24" deep) (See figure 41). If illuminated, the signs should be lit with an unobtrusive light source.



Figure 41

6. Incidental wall signs such as building management identification and directory signs should be integrated into a single sign and be constructed of brushed bronze, antique bronze or painted cast iron. Such signs should not be placed on the prominent street front facade and should be directed to public residential entries.

e. Awnings and Banners

Awning scale and proportions are to be appropriate for the building on which they are mounted as well as the adjacent structures. It is highly recommended that awnings be uniform in size, shape (except for arched openings, see "Forms" below) and color in order to unify multiple storefronts within a single building. The length of the awning is to be restricted to the length of the storefront opening; awnings must not continue over masonry piers. The vertical and horizontal dimension should be proportional to the overall projection of the awning. (See figure 42)



Figure 42

Awning projection is preferred at 36 inches, but awnings will be considered which range from a minimum of 24 inches to a maximum of 36 inches. Projection depth should match the existing adjacent awnings provided they comply with the acceptable minimum and maximum projection. Awnings should be placed at a minimum height of 8 feet above the sidewalk. If awnings are lit it should be from an outside source; no backlit awnings are allowed.

Forms: Awning forms are to conform to the general shape of the opening. Arched openings are to receive 1/2-round domed awnings, whereas rectangular openings are to receive rectangular, gently sloping; planar forms with closed ends. Valances may be fixed or loose.

Mounting: Awnings may be fixed or retractable. Retractable awnings must be kept either in the fully projected position or the fully closed position. Fixed awnings are to have concealed rigid metal frames. Retractable awnings should have a canopy cover and automatic retractable rollers mounted to the building. Underpanels are not desired. Frames should be painted to match or compliment the color of the awning cover material or its underside.

Materials: The awning material should be taut, not relaxed. Awning materials may include matte finish painted cotton, vinyl-coated cotton, acrylic-coated polyester, and vinyl-coated polyester or cotton and solution-dyed acrylic. All materials should receive silkscreen, painted, cutout lettering, heat color-transfer, pressure sensitive vinyl films or sewn appliqué signs. Awning signs and logos are limited to a height of six inches, and may be placed on the valance only.

Colors: Awning and banner colors must take into account the color selection of the surrounding materials, buildings, signs, awnings, and image of the retailer/user and district. All awnings located on the same building must be the same color. Colors should enhance and compliment the building and are restricted to earthtones and primary and secondary colors. Final color selection is contingent on approval by the Design Review Board and compliance with the Village awning ordinance.

Banners should be considered as identification of commercial districts. Banners may be location, event, holiday or sponsor specific and can create a unifying thread between the independent districts. Banners are to be mounted on existing poles by fixed brackets and hardware. The Design Review Board must approve the final design.

All new or replacement Awnings and Banners must comply with Village Ordinances and the Design Guidelines.

f. ADA Compliance:

Federal and State regulations require all public spaces to be accessible. Accessibility alterations shall allow access from either the primary or the secondary facade; additions of elevators or ramps should be designed as an integral element of the building.

Entrances: Commercial and mixed-use facilities should provide first floor access from the primary or secondary facade.

Elevators: Where possible, elevators should be incorporated into the existing building envelope. If physically impossible, the elevator and stair core can be located on the exterior of the building but should be located so as not visible from the main public way.

Ramps: Where required, the slope of the ramp should be as gradual as possible to eliminate the need for handrails. Although a 1:12 slope is permitted, 1:20 is encouraged. A ramp should be an integral design element, reflecting the design of the building it serves and surrounding site. This can be accomplished by concealing the ramp behind a low screen wall.

g. Mechanical Equipment

1. Location

Mechanical Equipment must not be visible from pedestrian view. Roof top equipment should be located either in the center of the roof or in one corner away from the street elevation so as not to be visible from the primary or secondary approach.

2. Screening

For at-grade equipment screening, see Sections IX.a (p.26), X.c.9 (p. 33), and XI.d.5 (p.57).

Mechanical equipment located at grade should be screened from view with a fence or wall that is constructed of the same materials as the adjacent building. Rooftop equipment that cannot be located out of view should be screened by walls constructed of materials sympathetic to those of the primary facade.

VIII. Materials

Building materials throughout the districts consist primarily of masonry and stucco. The existing buildings currently have a good palette of colors, textures and material mixes from which new materials should be selected. The masonry palette consists of wirecut, smooth and textured modular brick and rough-face and dressed limestone veneer. Rough-faced limestone should be limited to accent or base pieces only. The brick color palette should be restricted to those present in the district but can vary in color from reds to yellows and have varying levels of iron spotting. Pink or orange brick is not allowed.

English Tudor buildings obtain some of their character from the mix of materials used in the upper floors. Creative use of material combinations is encouraged to break up the massing. The number of facade colors should be minimized to maintain unified districts – white and cream stucco with reds and browns, emphasizing earth tones and eliminating saturated colors.

Commercial and Mixed Use: Acceptable materials include modular brick, rough-faced or dressed limestone and exterior grade stucco with wood trim. Wood, aluminum or vinyl siding, metals, rough/random lannon stone, concrete block (split face or smooth) and glassblock are not acceptable materials. EIFS may be allowed if the location is limited to the second floor facades or higher and the finish and articulation are acceptable. The finish of the EIFS must resemble exterior grade stucco of the historic English Tudor buildings in the Village.

Institutional: Institutional buildings are encouraged to have monochromatic material selection such as modular brick, or rough-faced or dressed stone. Wood, aluminum or vinyl siding, metals, rough/random lannon stone, concrete block (split-face or smooth) and glassblock are not acceptable materials. EIFS may be allowed if the location is limited to the second floor facades or higher on secondary facades only and the finish and articulation are acceptable. The finish of the EIFS must resemble exterior grade stucco of the historic English Tudor buildings in the Village.

Multiple-Family Residential: Acceptable material for multiple-family structures includes modular brick, limited areas of dressed limestone, and exterior grade stucco with wood trim. Wood siding is allowed on secondary facades on upper floors only. Aluminum or vinyl siding, metals, rough/ random lannon stone, concrete block (split face or smooth) and glassblock are not acceptable materials. EIFS may be allowed if the location is limited to the second floor facades or higher and the finish and articulation are acceptable. The finish of

the EIFS must resemble exterior grade stucco of the historic English Tudor buildings in the Village.

Acceptable Materials:

a. Primary Facade
Commercial, Mixed Use, Multiple-Family and Institutional

- Modular face brick (See figure 43)
- Limestone (Limited to partial first floor only. Limestone is to be integrated with brick for multiple-family residential) (See figure 44)
- Cast stone, which clearly simulates stone, is limited to accent pieces such as belt courses, sills and shoes. (Split face or rusticated are not permitted.)
- Exterior grade stucco with wood trim (See figure 45)
- Wood siding (Multi family Residential only)

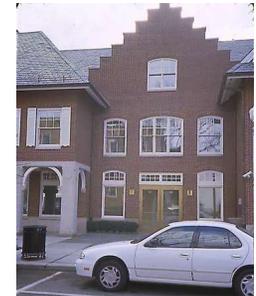


Figure 43

b. Secondary Facade
Commercial, Mixed Use, Multiple-Family and Institutional

- Modular face brick (See figure 43)
- Modular common brick
- Dressed limestone (Limited to first floor only) (See figure 44)
- Cast stone, which clearly simulates stone, is limited to accent pieces such as belt courses, sills and shoes. (Split face or rusticated are not permitted.)
- Exterior grade Stucco with wood trim (See figure 45)
- EIFS (upper floors only, troweled texture to resemble stucco) (See figure 46)



Figure 44

c. Roof materials
Commercial, Mixed Use, Multiple-Family and Institutional

- Clay Tiles (See figure 47)
- Cement Tiles and Shingles
- Ceramic Tiles that simulate natural materials.



Figure 45

Architectural Series of Asphalt Shingles (3 ply) (See figure 49)
 Wood Shingles (Fire treated)
 Slate (See figure 48)
 Real Copper (No other metal roofs are allowed)



Figure 46

Institutional only

Flat roofs must be hidden by parapet on primary / secondary facades.

Commercial and Multiple-Family

Flat roof must not be visible from street, pedestrian, or open spaces.



Figure 47

d. Door and Window Materials:
Commercial, Mixed Use, Institutional, Multiple-Family Residential: Entry doors should be wood or aluminum stile and rail with varying degrees of glass. Public entry doors should be fully glazed whereas private and semi-private entries should be primarily solid panel doors. Storefront window units should be either paneled aluminum or brass. Many original storefronts, some with transom windows, remain in the districts. Efforts should be taken to repair and renovate these systems where feasible. Window frames should be wood, steel or aluminum. Vinyl windows are not acceptable. Muntin divisions should be real divided glass or simulated with spacer bars. Snap-in muntins are not acceptable. Color selection should be sympathetic with the overall building color palette and take into account the adjacent building materials within the structure, immediately adjacent structures, structures within the same block and structures across the street. Entry door hardware is to be exterior grade with weather-resistant finish. Hardware design and finish is to be appropriate with facade articulation, color palette and district character. Glazing should be clear glass without tint or film.



Figure 48



Figure 49

Garage doors should be designed to replicate stile and rail paneled doors if they are in view of the public or pedestrian way. The doors can be constructed of wood. Overhead rolling doors are allowed.

IX. Service, Secondary Facades and Parking Structures

- a. **Service Areas:** Service areas allow for loading zones and dumpster placement. **Commercial, Mixed Use, Institutional, and Multiple-Family Residential:** Service areas are to be located off secondary streets or alleys out of public view. If a service area is visible from the public view, the service area is to be treated with screening approximately 6'-8' tall to match adjacent building elevations.
- b. **Secondary Facade(s):** Fenestration of secondary facades should comply with Section VI.d. When a secondary public entrance is located off a parking area or alley, the alley is to be treated as an extension of the public walkway, and the building entrance is to be articulated to differentiate it from private or semi-private entrances.
- c. **Parking Structures:** As new developments occur within the business districts, **multiple-family residential** and institutional areas, parking structures may be incorporated into their designs in order to meet parking needs. Parking structures should be located remotely from primary streets and should not be visible from the public way. All parking structures should provide a safe and pleasant pedestrian entrance and exit from the structure. Parking structures servicing the commercial districts should integrate into the surrounding architectural fabric. Structures serving residential buildings should relate to the architectural fabric.

Parking structures at a commercial development should be incorporated into the design of the development so that they blend into the building's architecture, scale, and surrounding streetscape context. Integrated parking structures should provide a seamless and non-evident appearance of parking. Their scale and mass should be compatible with the standards set forth in these design guidelines. Building materials, details, and articulation should be consistent with that of the overall development and surrounding context when visible from the public way.

Adequate vehicular and pedestrian access into the structure, ADA compatibility, safety, lighting, and ventilation issues must be addressed.

Please see Vehicular Zone Landscape in Section XI.d for information on parking structure landscape requirements.

1. Massing: The parking structure should comply with the general commercial and mixed-use building massing guidelines (Section V) with the following exceptions. The parking structure should contribute to the continuous "streetwall" along the primary thoroughfares and respect the adjacent setbacks of existing buildings. Heights of the parking structure are delineated in this guideline under Parking Lot Standards. Freestanding residential parking structures should be adequately screened from view.

2. Proportions and Rhythms: Parking structures are to conform to the general commercial and mixed-use proportions and scale guidelines as outlined in Section VI.

The horizontal and vertical rhythms of the structure should enforce the rhythms established by the immediately adjacent and facing structures in order to unify the streetwall. Structures abutting a primary or secondary way should maintain a screen wall with a maximum of 20% openings and a maximum frontage at grade of 30 feet. Parking structures with street frontage that exceeds 30 feet should incorporate sales tax generating uses at the ground level so that the streetwall continues to offer the pedestrian shopping experience. The storefront at the sales tax generating use should comply with the General Commercial and Mixed-Use Guidelines. Off the primary and secondary streets, the parking structure expansion is limited by the current zoning ordinance. Parking structures serving residential units should also contain a screen wall and conform to the general multiple-family design guidelines. Freestanding parking structures should not exceed 14 feet in height above adjacent average grade or top of curb to the upper parking deck.

3. Articulation. The pedestrian entrance should be clearly articulated independent of the adjacent screen wall. The first floor screen wall should display the proportions and rhythms as indicated above while incorporating appropriate articulation. Shallow blind niches and recesses as well as expressed columns are encouraged to break down the screen wall and provide scale. Integral way-finding signs, street furniture, trash receptacles, newspaper corrals, drinking fountains and public art are encouraged as design elements at the screen wall.

4. Materials: The parking structure must be clad in the materials palette identified in Section VIII. Monochromatic or limited material combination is encouraged to downplay the hierarchy of the structure. Exposed concrete facades are not permitted, although cast stone accent and cladding materials units are acceptable. Parking structures serving residential units must apply creative material selection per the general multiple-family design guidelines. Material selection may be limited to less expensive material when not visible from the public way.

Public Spaces/Streetscapes

GENERAL GUIDELINES

X. Pedestrian Zones and Pedestrian Circulation

As part of Winnetka’s Business Districts, Multiple Family Residential and Institutional areas, the pedestrian-friendly character of the streetscape lends to the charm and ambience of these districts. Elements that are characteristic of a pedestrian-oriented street include narrow rights-of-way, numerous storefronts with display windows and a high volume of pedestrian traffic. Care should be taken to maintain and enhance these elements within Winnetka.

Attention should be paid to all existing streetscape/pedestrian zones and to ensure that those created, altered and amended by future developments continue to enhance Winnetka’s pedestrian-friendly character. Special consideration must be given to enhancing and providing safe, efficient movement for these districts’ users.

While the streetscape/pedestrian zone character differs in each district based on spatial and roadway limitations, these general guidelines should apply consistently to Winnetka’s Business Districts, Multiple-Family Residential and Institutional areas.

a. Minimum Sidewalk Width Standards.

Where possible, the paved pedestrian zone must be next to retail store frontages and away from street edges or curb lines. This may not be possible in some multiple family/institutional areas where a landscaped parkway area separates the building from the sidewalk. A minimum 6 foot wide unobstructed pedestrian clear zone must be maintained in all districts. (See Figures 50 and 52)



Figure 50

When landscape elements are incorporated into pedestrian zones a paved 18-inch wide carriage walk must be provided between the back of curb and raised landscaping.

b. Minimum Sidewalk Material Standard. The Village’s sidewalk materials and pattern palette should be kept to a minimum of materials/designs. Decorative paver treatments should be used as described in the Streetscape Design Family of Elements.

c. Streetscape Elements. An overall unified streetscape design that addresses pedestrian and vehicular zones should be established for the Village Business Districts, Multiple Family Residential and Institutional areas. Areas using streetscape elements, especially the Village’s Business Districts, may have minor style variations in order to underscore that District’s unique character.

Overall, a common streetscape theme, even with minor style variations, will promote a cohesive Village identity easily recognizable between the Business Districts, Multiple Family Residential and Institutional areas within the Village. This theme is expressed in the selected streetscape family, or palette, which is used in public, semi-public and private streetscape and open space areas.

The Village’s streetscape elements (Table 1) should be placed in high traffic areas and grouped to provide the greatest public benefit (See Elements below). They should be coordinated and consistent along the street for a minimum of one block. All elements should be high quality.

Streetscape design for all development sites should be coordinated with the overall streetscape design of the districts or adjacent streets to reinforce a coordinated physical

character for the area. (See Appendix D: Action Items) For example, lighting for a new development's pedestrian plaza should be similar to the Village streetlights installed on adjacent district streets. Model names, colors, and suggested manufacturers for streetscape elements are listed in Appendix A.

Table 1. Family of Streetscape Elements (See Appendix A for manufacturer information)

- | | |
|-------------------------------|--|
| • Benches/Seating | • Decorative Fencing |
| • Waste Receptacles | • Newspaper Corrals/Screening |
| • Decorative Paving/Sidewalks | • Public Art |
| • Decorative Street Lights | • Public Signs/Community Wayfinding |
| • Bicycle Racks | • Decorative Water Features/Drinking Fountains |
| • Bollards | |
| • Trash/Equipment Screening | |

1. Benches/Seating: New developments should find ways to include pedestrian seating into the overall site design and open space.

2. Benches: Benches should be placed in the parkway in unobtrusive locations and considered in private open spaces. They should be placed in higher intensity pedestrian traffic areas and/or to provide convenient seating opportunities. Benches with backs should be a 6-foot standard length and should conform to the Village Streetscape Elements Palette. (See Figure 51a) Benches should be incorporated into new multiple family and institutional use areas.



Standard Metal Bench



Standard Wood Bench
Figure 51a

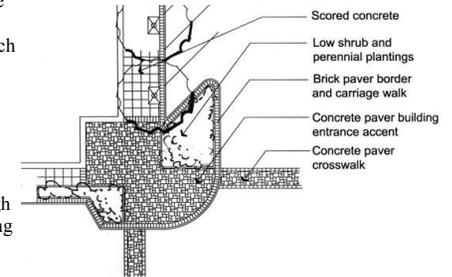
3. Waste Receptacles: Waste receptacles should typically be placed on each corner and possibly mid-block in high-pedestrian traffic areas within the business districts. Institutional uses should consider waste receptacles at discreet locations. Publicly accessible open spaces should provide the same model of waste receptacles. (See Figure 51b)



Standard Metal Trash Receptacle
Figure 51b

4. Decorative Paving: Decorative brick pavers should be used along sidewalks, at corners, and/or in plazas to enhance the attractiveness of an area and to define pedestrian activity areas. Pavers should also be set into streets/driveways to define pedestrian crosswalks or special pedestrian zones. Such treatments are intended to reduce traffic speeds, connect pedestrian walkways, and enhance a site's attractiveness and physical character. Where decorative pavers are not used, concrete walks and plazas should include tinted coloration, designed scoring, and finishes to improve the appearance of such areas.

In new developments in the Business Districts, decorative brick pavers should be placed as a banding in combination with the concrete sidewalk. The Village encourages the use of brick pavers in high impact streetscape spaces such as building entries, plazas, corner pocket bump-outs and pocket parks.



Typical paver treatment for parkways, cross-walk, and building entrances

Patterns of sidewalk materials and pavers should be consistent with the surrounding character or should establish a character if none exists. In the Hubbard Woods and Indian Hill Districts, a combination of tumbled concrete pavers or clay pavers should be used (See Figure 51c). In the Elm Street Business District, the existing paver pattern should be continued utilizing

concrete Hollandstone pavers or an approved equal. Color of pavers shall match the existing pavers as close as possible. (See Figure 51d)



New Paver combination for all areas other than East/West Elm Street Business District

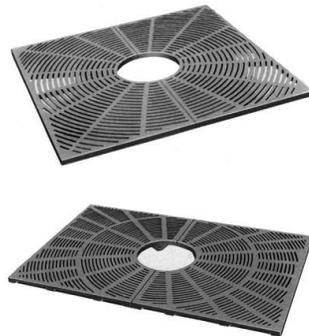


*All sidewalks/pedestrian areas shall be handicap accessible
Figure 51c*



*Typical concrete brick paver treatment in East/West Street Business District
Figure 51d*

5. Tree Grates: Tree grates should be used in parkway/pedestrian zones within the business districts where space limitations occur. (See Figure 51e and Pedestrian Zone Landscape Page 39)



*Standard (5' x 5') and Alternate (4' x 6') Tree Grate Sizes
Figure 51e*

6. Decorative Street Lights: A selected Village lighting fixture should be consistent among each Village Business District, **Multiple Family Residential** and Institutional areas, and **along the Green Bay Road Corridor**. The fixture selected for these areas (See Appendix D and Figure 51f), shall also be used on major arterial streets within the Village to achieve a consistent Village-wide appearance. New development should provide street lighting that conforms to a Village street lighting plan on public rights of way or parkways that border the property.



*Standard Decorative Pedestrian Street Light and Pole Combination
Figure 51f*

Lighting in the districts should be spaced equally at an appropriate distance to achieve desired light illumination levels set by a qualified lighting engineer. The current Village light fixture with the "Evanston" luminaire and decorative cast metal pole combination should be used. Mounting heights will vary in districts depending on final spacing and desired illuminant levels. Pole mounting heights should generally be 12-14' tall. A color-corrected high-pressure sodium cut off horizontal luminaire system is specified. Sodium vapor and halogen lights are prohibited.

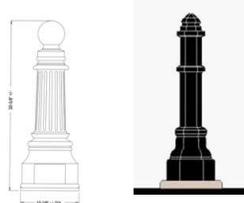
Lighting should enhance pedestrian areas with minimal glare onto adjacent properties/residential areas. Lighting should extend from the street into public, semi-public, and select private open space, vehicular use areas and publicly accessible alleys.

7. Bicycle Racks: Bicycle racks should be located in high bicycle traffic areas along pedestrian and vehicular zones. Racks should be sited so as to not impede on the pedestrian free zone or seating/gathering areas. Surface and structural parking lots should allocate spaces for bicycle parking. Publicly accessible open spaces should provide bicycle racks using the same or coordinating model style. (See Figure 51g)



Typical Bike Rack Figure 51g

8. Bollards: Decorative metal non-lit bollards should be incorporated at key locations to create a separation for safety between pedestrians and streets or driveways. (See Figure 51h)



Bollard design shall substantially conform with base of standard decorative street light Figure 51h

9. Trash/Equipment Screening: For all new developments and loading areas, dumpsters and outdoor utility equipment should be consolidated as much as possible and thoroughly screened with year round solid screening. (See Figures 77a&b for more information).



Standard decorative metal fencing Figure 51i

10. Decorative Fencing: Decorative metal and/or wood fencing should be used where appropriate to enhance and define open spaces, landscaped areas and building entrances. (See Figure 51i) Such fencing should not be more than four feet in height. Solid fencing should be avoided unless used for screening of service areas. Chain link fences are prohibited. Decorative metal fencing, using the Village standard, is encouraged along all public street frontages to obscure the view of surface parking areas.



Example of a newspaper corral screen Figure 51j

11. Newspaper Corrals: Decorative newspaper corrals should be installed only at Metra stations to consolidate newspaper boxes and eliminate clutter. (See Figure 51j)

12. Public Art: Public art can create a framework to organize open spaces, integrate building and landscape design or highlight a functional element such as a fountain. Where appropriate to new or existing developments in the Business Districts, Multiple Family Residential or Institutional areas, public art should be provided to enhance the Village's character and convey historical or social significance. (See Figure 51k)



13. Public Signs/Community Wayfinding. Consistent, well-designed and clearly interpreted community wayfinding signs should be installed throughout the business districts, multiple family, or institutional areas as needed. (See Village Signage)



Examples of Public Art/Sculptures Figure 51k

14. Decorative Water Features/Drinking Fountains. Drinking fountains should be considered for high pedestrian traffic areas or open spaces. The design should coordinate with the overall streetscape design theme and family of elements. (See Figure 51l) Decorative fountains that are proportionate to and appropriate with their surroundings are encouraged in open spaces. If used, fountain design should carefully consider maintenance and safety.



Standard drinking fountain Figure 51l

d. **Pedestrian Zone Landscaping.** Streetscapes within the Business Districts, **Multiple Family Residential** and Institutional areas should be designed to provide pedestrians with shade and visual interest. Providing adequate landscaping within the pedestrian zones is an essential element to maintaining and enhancing the Village’s streetscape character. Irrigation and appropriate drainage are recommended for all landscaped areas, especially for raised planters. The following landscaping guidelines should serve as a continuation and supplement to the Village’s on-going tree planting program in all public rights-of-way.

Existing and new developments should preserve existing trees and minimize disruptions through grade changes or installation of underground utilities and structures. Tree planting in the public way and/or on adjacent setbacks should extend and complement the existing street character or establish a character if none exists.

The existing landscape character in public parkway/streetscape varies with the Business Districts, **Multiple Family Residential** and Institutional areas. Overall, these characters should remain intact and be enhanced.

In general, the Business Districts’ public parkway character is that of a paved streetscape pedestrian zone. Where widths of paved areas are wider than six feet, street trees are planted in either at-grade tree grates or raised curb planters. This condition should be continued in all new and existing developments within the Business Districts. The Village encourages the use of raised concrete planters with both street trees and understory plantings as outlined in these guidelines.

In general, **Multiple family Residential** and Institutional areas, public parkway character is that of a concrete walkway in conjunction with a planted parkway area. That parkway area width varies by location but is predominantly planted with street trees and a turf lawn area.

This condition should be continued with in all new **Multiple family Residential** and Institutional areas.

1. Plant Palette: An approved Village plant palette is included in these guidelines for reference. (See Appendix B) The Village encourages a variety of species, sizes, and types of plant materials that provide appropriate impact/coverages as well as seasonal interest. Plants selected by the Village on this list are chosen for their hardiness, disease resistance, ease of maintenance and character.

2. Parkway Widths: Within the Business Districts the sidewalk widths between the curb and building line range from five to as much as 15 feet. **Multiple Family Residential and** Institutional areas typically have five-foot wide sidewalks with associated green parkway areas. Along Green Bay Road, sidewalks currently range from five to six feet in width (See Appendix D).

Sidewalk areas in new developments should maintain a minimum pedestrian clear zone of 6 feet in combination with landscaping and streetscape amenities where space permits. The parkway width will determine the type of streetscape enhancements feasible in that area while maintaining the necessary six-foot wide pedestrian clear zone. (See Figure 52)

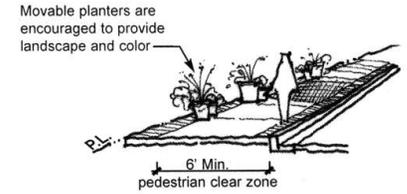
Typical Parkway Widths (see Figure 52):

6 feet – 9 feet. Where the parkway or pedestrian clear zone is less than nine feet wide, street trees are not suggested. Movable planters, decorative paving, or basket planters on light poles are preferred alternatives.

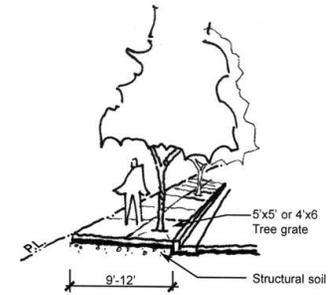
9 feet – 12 feet. Where parkways are greater than nine feet wide in commercial or **multiple family districts**, street trees should be planted within tree grates that are flush with the sidewalk or planted in a raised curb planter. The six-foot clear pedestrian zone should not be obstructed by streetscape elements.

If tree grates are required for maintaining minimum pedestrian clear zone clearances, the grate size should be five feet by five feet or four feet by six feet. The tree grates shall conform to the design standards and soil volume specifications of the Village.

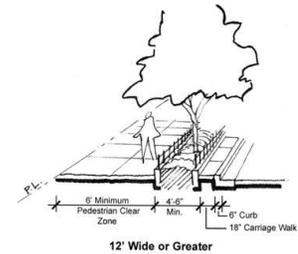
Greater than 12 feet. All pedestrian zones greater than 12 feet in width should contain street tree plantings in designed raised concrete curb planters. Where appropriate, seating areas and sidewalk cafes are encouraged. However, these improvements should not overwhelm the sidewalk nor impede on the 6-foot pedestrian clear zone.



6'-9' Wide



9'-12' Wide



12' Wide or Greater

3. Street Tree Selection and Spacing. Street trees selected for the Business District, **Multiple Family Residential** and Institutional area streets shall be large deciduous canopy trees tolerant of roadside conditions such as salt and air-borne pollutants. Tree varieties and locations shall coordinate with existing planting patterns. Grouped and linear plantings may be explored as part of an overall site development plan concept.

The minimum caliper size for single stem deciduous street tree plantings should be 4 inches. All shade trees shall have a minimum clear branch height of 6 feet above the root ball at time of planting. (See Figure 54) Street tree spacing should be a minimum of 20 feet and a maximum of 40 feet on center in the parkways and pedestrian zones. (See Figure 52)

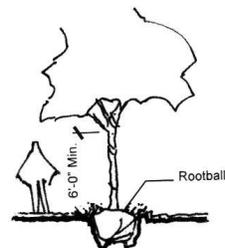
4. Street Tree Planting Standards. Street tree plantings in all new developments should be designed to meet the minimum standards as established by the Institute of Traffic Engineers (ITE) guidelines in order to ensure safe, efficient use of the pedestrian areas. These minimum standards are intended to provide ample sight triangles and clearances for motorists at intersections, alleys, commercial or **multifamily residential** driveways. The Village shall at its own discretion review and approve each parkway tree planting plan on a case-by-case basis.

In general, street trees should be planted in a straight row manner (on center) at the appropriate spacing and conformity with existing street trees adjacent to the development site.

Newly planted street trees should be no closer than 3 feet on center from the face of the curb. All trees should be planted in the center of raised or grade-level planter areas with tree grates.

All street trees in grassed parkway areas should be planted as true to the center of the parkway as possible due to utility, signs or other existing obstructions. No street trees should be planted in open grass/lawn parkways less than 4 feet in width as measured from the back of the curb. (See Appendix C)

5. Visual Clearance. Landscaping should not block views or pedestrian sidewalks at its mature size and should not create safety or maintenance problems. Minimum branch clearances at time of planting should be 6 feet in height. Shade trees should be an upright single stem spreading species. (See Figure 54)



Minimum 6' branch height for visual clearance
Figure 54

Sight triangles at driveways and at parking and loading access points should not be less than 12 feet as measured along both intersecting rights of way lines. No plant material should be installed in the triangle exceeding a maintained growth height greater than 12 inches. (See Figure 55)

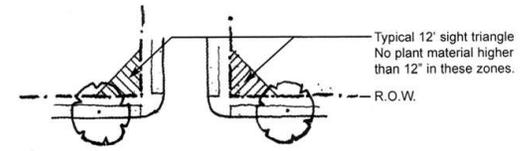
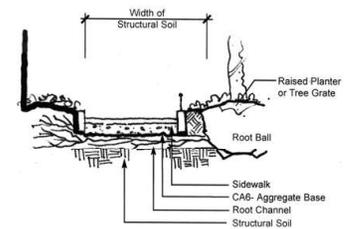


Figure 55

6. Structural Soil and Planting Soil

Depth. In instances when the parkway width is 4-5 feet, the use of structural soils and root channels should be considered in adjacent paved walks to link green areas. (See Figure 56) Structural soil at a depth of 2 1/2 feet should be used under all sidewalks where landscape plantings/street trees are located as well as between planter or grates to permit root growth in the parkway.



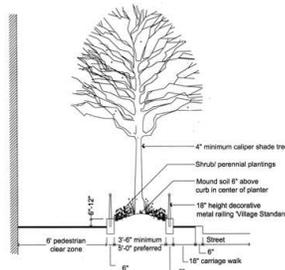
Structural Soils Detail
Figure 56

Along with structural soil, root paths should be considered as necessary sidewalk improvements to allow street trees to reach their maximum growth potential. For at-grade plantings of shade trees, minimum soil depth should be 3 feet; for shrubs, 18 inches, and 6 inches for grass and groundcovers. A minimum soil volume for street trees in sidewalk grates should be 125 cubic feet.

7. Raised planters. Where possible, street trees and multi-tiered planting in continuous raised planters is encouraged. Multi-tier means providing additional plant material below street trees, such as shrubs, perennials and groundcovers. These additional plantings should provide a variety of coordinated color and seasonal interest to the streetscape. Continuous raised sidewalk planters with expansive planting soil volumes are preferred. (See Figures 57, 58, and 59)

Raised curb planters should be approximately six inches in height and a minimum of 3 ½ feet wide (inside dimension); however, a 5-foot inside width dimension is preferred. The raised planters should also contain a continuous decorative 18-inch metal railing around the curb top and be of a style reflecting the Village standard or the proposed development plan (See Figure 59). The length of these planters should be designed to accommodate store entrances, signs and other streetscape elements.

Soil should be mounded to 6 inches above the top of the planter curb at the center of the planter. Mulch, groundcover, or other appropriate plantings in conjunction with the appropriate street trees should be provided. Where appropriate, adequate GFI electrical outlets should be provided for each individual street tree or combinations of trees in the Business Districts.



Minimum Streetscape/Parkway
Cross-section with raised planter
Figure 57



Typical Raised Planter/Railing Treatments
Figure 58



Typical Raised Planter/Railing Treatments
Figure 59

8. Movable Planters. Movable planters are encouraged for sidewalks and open spaces too narrow to accommodate raised curb planters. (See Figure 60 and Appendix A for more information).



Various styles of Movable Planters
Figure 60

9. Light Pole Planter Baskets. Light pole planter baskets are encouraged for sidewalks and open spaces unable to accommodate at-grade planters.

c. Special Pedestrian Zone/Streetscape Conditions

1. Outdoor Sidewalk Cafes. Dining establishments, coffeehouses or cafes are encouraged to provide adequately spaced outdoor seating. The Village encourages the use of these small outdoor spaces to help enliven the streetscape. Careful attention must be paid to maintaining a pedestrian clear zone. Tables, chairs, umbrellas, service equipment and planters should be kept out of the pedestrian clear zone. (See Figure 61)



Appropriate outdoor sidewalk
caféspace/alley enhancement
Figure 61

A temporary or seasonal designed barrier element is encouraged to ensure a clear demarcation of these spaces. The business or property owner should erect a simple decorative railing, fence, planters or similar element. The height of such a barrier should be no greater than 36 inches and constructed of a solid durable material easily anchored and removed in the paved space. The design of the barrier should reflect the architectural style of the building or coordinate with the Village streetscape elements. Maintenance and upkeep of the barrier is the sole responsibility of the business proprietor or building owner.



Typical paved crosswalk
Figure 62a

2. Corner Bump Outs. The Village encourages the use of bump-outs, or widened walkways, at street corners. These bump outs serve numerous functions: they slow traffic, highlight pedestrian crossings, encourage pedestrian gathering and allow for the incorporation of streetscape elements into the streetscape design. (See Figures 62a, and 62b)



Corner bump out softens on-street parking with landscape and streetscape elements
Figure 62b

Bump-outs should only be used in the business districts at key intersections where feasible. They may also be used at corners where transitions occur from **multiple family** or institutional uses, such as in the Indian Hill District



Figure 63a

Bump-outs must be designed to meet the Engineering Design Specifications of the Village and, when applicable, of IDOT to provide a safe and proper turning radius for vehicular traffic along with appropriate sight lines and compliance with ADA standards.

3. Bus Stops. Bus stops currently exist at selected PACE locations throughout the Village. Where bus stops occur in the business districts and along the Green Bay

Village of Winnetka, Illinois

Road Corridor, a coordinated Village sign system should be developed. (See Appendix D)

The Village should consider new designs for attractive bus shelters that maintain the Village character. (See Figures 63a and 63b) All new bus shelters should incorporate Village sign elements.



Examples of decorative "character" bus shelters
Figure 63b

XI. Vehicular Zone

a. Streets. Vehicular zones include streets and roads; alleys, driveways and curb cuts, and parking and service areas. These guidelines place particular emphasis on parking and service areas. (See Figures 64a and 64b)



Typical paved crosswalk for visual enhancement and safety
Figure 64a



Unattractive streetscape with expansive cross-section
Figure 64b

b. ADA Compliance. All new vehicular use/parking areas shall be ADA compliant. The required number of handicap parking stalls at 16' wide x 19' deep shall be appropriately designed, marked and located closest to the main entry and/or handicap accessible entries to all new developments.

All sidewalks from the parking areas to the building should have the appropriate depressed curb, sidewalk width, slope and handrails as necessary to provide uninterrupted, barrier-free access.

c. **Parking and Service Areas.** In all Business, **Multi-family Residential**, and Institutional areas, parking is both an essential component and a scarce commodity, which is absolutely necessary to the vitality of the business districts. Currently parking occurs in the following locations:

- Private off-street surface parking
- Public off-street surface parking
- Public multi-level parking structure
- On-street parking

The primary locations for service and loading areas exist along alley and rear business entries.

For current and future developments, every effort must be made to save, enhance and/or expand both public and private parking areas. All new developments should meet the standards established by Village ordinance and should strive to meet the conditions listed in Table 2.

Table 2. Parking & Loading Area Conditions to be considered

- Location, Orientation and Access of Parking areas
- Location, Orientation and Access of Loading / Service areas
- Off-Street Parking Lot Standards
- On-Street Parking Standards
- Parking Lot Signs
- Vehicular Zone Landscape
- Off-street Parking Perimeter Screening
- Off-street Parking Internal Landscape Standards
- On-street Public Parking Landscaping
- Service / Loading Area Screening
- Lighting

1. Location/Orientation and Access for Parking Areas:

New parking should be located behind, within or underneath structures and buildings. (See Figures 65a and 65b) Off-street surface parking lots in front of new buildings and along street frontages are prohibited. Access to all parking and loading areas must be provided off secondary streets or existing alleys/service drives. Access to underground parking facilities should also be provided from an alley or service drive.

If appropriate and feasible, on street parking within the district should be provided within the public rights-of-way in front of new buildings.

Curb cuts and vehicular entrances should be minimized throughout the business districts. Building owners are encouraged to share access points to their parking lots. Each curb cut location should be safe, efficient and approved by the Village Engineer.

Access should be provided from mid-block alleys and secondary streets. Access should not be from main district streets unless deemed appropriate by the Village Engineer. These larger entrances should be defined with adequately designed and coordinated signs, landscaping or architectural elements that complement the design of the development and add visual interest to the street. (See Figure 65c and 65d)



*New surface parking opportunity located behind the building
Figure 65a*

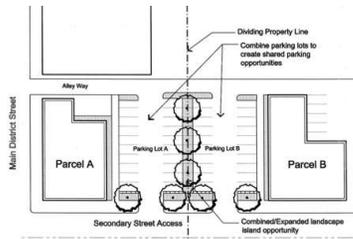


*Defined and articulated alley gateway in character with business district, leads to service and parking in rear
Figure 65b*

Shared parking should be provided, where possible, between adjacent land uses and businesses, especially on blocks that have varied parking needs. (See Figure 66) For example, a business with daytime employee and shopper parking may allow evening use of the same lot by apartment dwellers, shoppers or restaurant patrons. Shared parking should be considered if a public/semi-public parking structure is anticipated as part of future development in the districts.



Clear and visible, coordinated public signage element
Figure 65d



The Village Standard for parking stalls is 9'x18' as established by ITE (Institute of Traffic Engineers). A 9'x19' stall is encouraged for all new parking areas.



Mid-block alleyway with landscaping and signage enhancements
Figure 65c

2. Location/Orientation and Access for Loading Areas: All service areas should be located at the rear or side yard of new developments within the business districts. Access should be provided via mid-block alleys/driveways or from secondary streets.

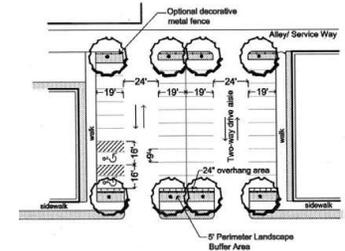
Exterior mechanical systems, loading/service, and trash storage areas should also be located out of sight from public roads. To the extent possible, these elements should be contained within the new building.

If these elements are located outside the building envelope, all efforts should be made to visually screen and buffer them with permanent year-round screening from street and sidewalk views (See section XI d5 for more information on screening).

Service areas/trash storage areas should be clustered together between businesses wherever possible.

3. Off-Street Public Parking Lot

Standards: In all districts off-street parking lots shall be designed in accordance with Village code and appropriate traffic engineering design standards. Minimum parking ratios should be provided with each new use/development per Village Code. Parking stalls shall be designed at minimum 9 feet x 19 feet stall dimensions. A 24-foot wide two-way drive aisle dimension shall be utilized in full bay parking lot configuration. (See Figure 67)



The Village Standard for parking stalls is 9'x18' as established by ITE (Institute of Traffic Engineers). A 9'x19' stall is encouraged for all new parking areas

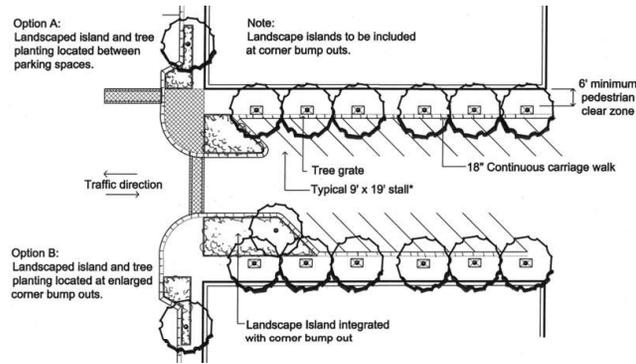
Figure 67

Other parking lot configurations (i.e. diagonal parking, one-way circulation, etc.) may be developed.

In order to avoid large expanses of pavement, which increase “urban heat” and are visually unappealing, landscaping should be provided within the parking lots. (See Off-street Parking Internal Landscape Standards, Page 68)

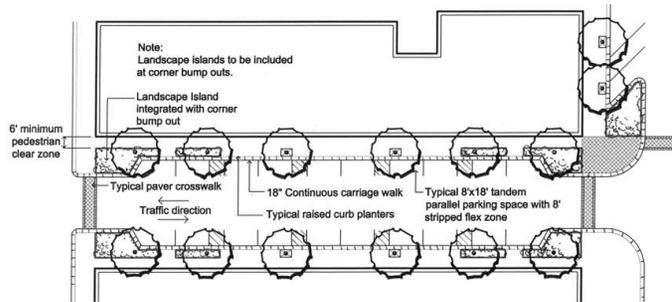
4. On-Street Public Parking Standards: The continued use of on-street parking is encouraged within the Business Districts, **Multiple Family Residential** and Institutional areas. Safety and driver visibility, along with appropriate traffic engineering design standards, as established by the Institute of Traffic Engineers (ITE) should be considered when using parallel or angled parking. (See Figures 68a and 68b) The Village acceptable minimum size stall widths and lengths should be followed:

- Parallel stall 8 feet wide x 18 feet long tandem space with 8 feet stripped flex zone
- Diagonal stall 9 feet wide x 18 feet long
- Perpendicular Stall 9 feet wide x 18 feet long



The Village Standard for parking stalls is 9' x 18' as established by ITE (Institute of Traffic Engineers). A 9' x 19' stall is encouraged for all new parking areas.

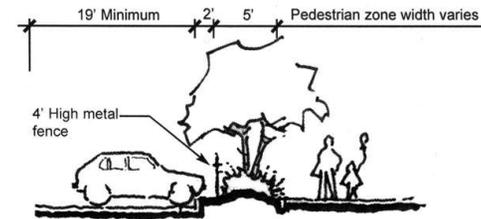
On-Street Diagonal Parking Standards
Figure 68a



On-Street Parallel Parking Standards
Figure 68b

The Village encourages the design of all new developments within the Business District, Multiple Family Residential and Institutional areas to incorporate 9 feet wide by 19 feet long stall sizes for all off-street parking areas.

Furthermore, ample vehicular overhang space or carriage walk areas should also be provided at a minimum width of 18 inches to back of curb for both on-street and off-street parking. (See Figure 69) This carriage walk area is in addition to the stall dimensions specified above.



Parking Cross-section with Streetscape
Figure 69

Where possible expanses of on-street parking should be softened by landscape islands or bump outs at the corners. (See On-street Public Parking Landscaping, Page 56, and Special Pedestrian Zone/Streetscape Conditions, Pages 40-42.)

5. Parking Lot Signs: All parking areas within the Village, both public and private, should contain appropriate and adequate directional and regulatory signs in an uncluttered, clear and concise manner and as deemed permissible by Village code. (See Figure 65d)

Village-owned surface, deck, and on-street parking should be consistent with the Village's signs and wayfinding system. Clear low-maintenance signs should be developed as shown in Figure 65d indicating direction and restrictions related to public parking areas.

Individual businesses should identify their property address and establishment name with a clear, concise sign program located adjacent to the service/loading areas.

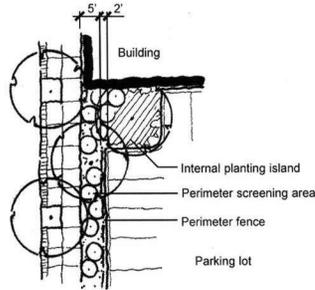
Lighting for all signs shall be at the discretion of the design review board. Alley service areas should be lit to minimize impact on residential apartments above storefront, yet provide a safe, secure environment.

See Village Signage Section, Page 62, for additional standards.

- d. **Vehicular Zone Landscape.** Vehicular parking areas require landscaping to minimize their visual and physical impacts upon the surrounding streetscape. The following are guidelines for off-street parking perimeter screening, off-street parking internal planting, on street parking planting, and parking structure landscaping. Irrigation and appropriate under-drainage are recommended for all landscaped areas.

1. Off-street Parking Perimeter Screening: A perimeter landscape area should be provided along all off-street parking areas on sides adjacent to public street/pedestrian zones and adjacent to transitional commercial or residential uses. (See Figures 70a and

70b) The goal of the buffer zone is to lessen the visual impact of parked cars and parking areas on the area streetscape and surrounding uses.



Parking lot/Vehicular Use Area Perimeter Screening Treatment
Figure 70a



Typical surface parking lot with ample perimeter landscape screening
Figure 70b

The minimum width of this landscape area should be 5 feet. An additional 24 inches of width is required where vehicular overhangs occur. The 24-inch wide overhang area should be of hardy plant material, solid permanent mulch or decorative paving. (See Figure 69)

Deciduous shade trees should be planted one per every 40 linear feet of frontage along the street. A continuous hedge planting should help block pedestrians' view into the parking lot. Clumps of ornamental trees may also be planted in lieu of or in coordination with shade trees for visual interest and screening. Perennials, grasses and groundcover under plantings should be incorporated to add additional seasonal color and appeal.

- *Shade Trees.* One shade tree at a 4-inch caliper minimum should be planted per 40 linear feet of the required perimeter screen area.
- *Shrubs/Hedges.* Continuous evergreen or deciduous hedges/shrubs should be installed at a 30-inch minimum height and maintained at a continuous 42 to 48-inch height.
- *Ornamental Trees.* Ornamental trees should be single or multi-stemmed at 8 to 10 feet in height or 2½ to 3 inch caliper, spaced in natural or formally designed groupings relative to the overall site plan.
- *Perennials/Ornamental Grasses/Groundcovers.* Perennials, ornamental grasses and groundcovers should be planted in front of shrubs and trees along the public street frontage or in the overhang area. Perennials/grasses should be installed in 1-gallon pots. Groundcovers should be planted from quart containers.

All landscape perimeter buffer areas should be fully irrigated and drained. Decorative metal fencing measuring (4) four feet in height is also encouraged along public rights-of-way or street frontages when feasible to provide both a physical and visual barrier into the parking lot. In tight areas where the desired landscape buffer zone minimum widths cannot be feasibly met through careful site design, coordinated Village decorative metal fencing (See Figure 71a) or a solid masonry screen wall may be substituted at a height of no more than 4 feet. (See Figure 71b)

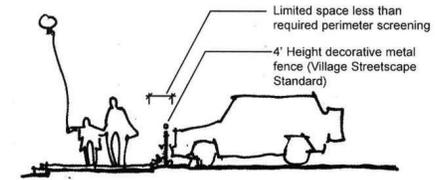
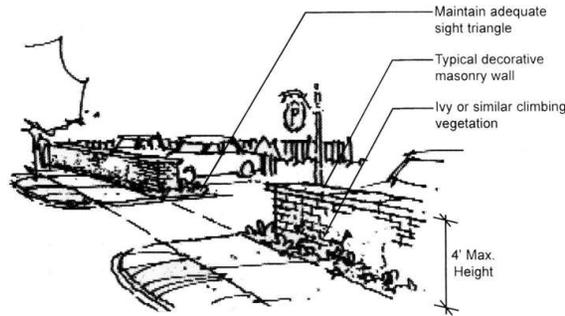


Figure 71a



Typical perimeter screening treatments for vehicular use areas with space constraints
Figure 71b

Where parking areas abut residential properties, a 6-8 foot solid screen fence or wall should be constructed. Appropriate materials include cedar, masonry (brick, stone, stucco) or evergreen plant material. The screen element should complement adjacent buildings and reflect the surrounding character.

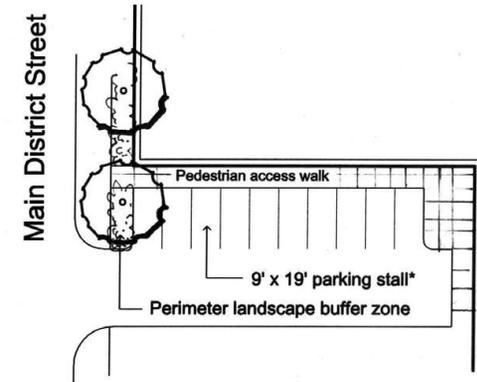
2. Off-Street Parking Internal Landscape Standards: In order to reduce the visual impact of surface parking on the streetscape, internal parking lot landscape guidelines should be employed. Landscape within the parking areas enhances the district character by:

- increasing “green space to pavement” ratio
- reducing storm water runoff
- creating shade and reducing the “heat island” effect
- softening the appearance for adjacent uses
- integrating the continuous streetscape character

Recognizing that some current and future parking lots may only contain nine or fewer parking spaces, these guidelines address the need for internal landscape plantings for paved vehicular use or parking areas larger than 3,000 square feet or approximately 10 parking spaces. These internal standards should be integrated and applied in addition to the perimeter parking lot landscape buffer zones.

For vehicular use/parking areas:

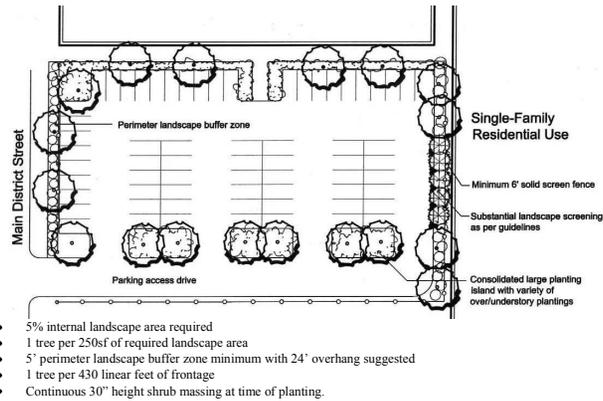
- 3,000 SF or less = no internal landscaping necessary (See Figure 72)
 - 3,000 SF to 30,000 SF = 5% landscaped area of total parking area (See Figure 73)
 - 30,000 SF or more = 7.5% landscaped area of total parking area (See Figures 74a and 74b)
- SF = square feet



- No internal landscape required
- 5' perimeter landscape buffer zone minimum with 24" overhand suggested.
- 1 tree per 430 linear feet of frontage
- continuous 30" height shrub massing at time of planting.

The Village Standard for parking stalls is 9' x 18' as established by ITE (Institute of Traffic Engineers). A 9' x 19' stall is encouraged for all new parking areas.

Parking lot or vehicular use area 3,000 sf or less
Figure 72



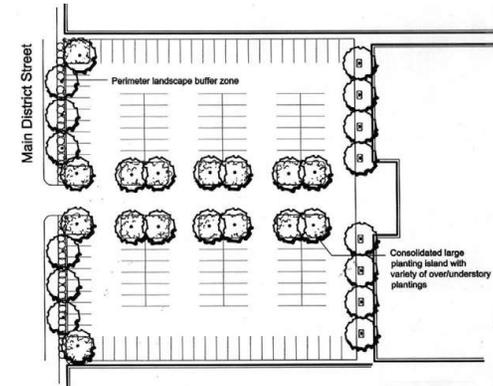
The Village Standard for parking stalls is 9' x 18' as established by ITE (Institute of Traffic Engineers). A 9' x 19' stall is encouraged for all new parking areas.

Parking lot or vehicular use area 3,000sf to 30,000sf
Figure 73

All landscape areas in the parking lot, excluding perimeter screening, are included in the parking lot internal planting guidelines. This may include planting islands, corner pocket parks or additional perimeter screening areas.

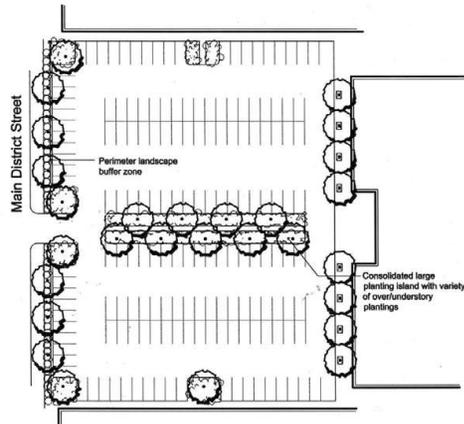
One shade tree should be provided for every 250 square feet of the required internal landscape area. The deciduous canopy (shade) tree with a spreading branching structure established at 6 feet in height at time of planting should have a minimum caliper of 4 inches. The acceptable species list is found in the Village Plant Palette in Appendix B.

Landscaped planting islands should be a minimum eight feet wide back of curb to back of curb, mimicking a typical parking space's parallel and diagonal dimensions. These islands should be included at a rate of 1 island per 10 parking spaces. These islands can be set singularly but are encouraged to be grouped together in larger, more manageable planting pods at corners or corner bump-outs. (See Figure 74b.) These larger landscape islands provide a better growing opportunity for plantings, separate the parking lot into smaller "cells" and allow for better snow management techniques. (See Figure 75)



The Village Standard for parking stalls is 9' x 18' as established by ITE (Institute of Traffic Engineers). A 9' x 19' stall is encouraged for all new parking areas.

Option A - Parking lot or vehicular use area 30,000sf or greater
Figure 74a



- 7.5% internal landscape area required;
- 1 tree per 250sf of require landscape area
- 5' perimeter landscape buffer zone minimum with 24" overhand suggested
- 1 tree per 430 linear feet of frontage
- Continuous 30" height shrub massing at time of planting.

The Village Standard for parking stalls is 9' x 18' as established by ITE (Institute of Traffic Engineers). A 9' x 19' stall is encouraged for all new parking areas.

Option B – Parking lot or vehicular use area 30,000sf or greater
Figure 74b



Utilize larger, expanded planted islands in surface parking areas to create cells or parking pods
Figure 75

All islands should have mounded topsoil to a center height of 6-12 inches above top of curb height. New planting soil volumes in the island should be a minimum 250 cubic feet per tree.

Low shrub massing and groundcover plantings are encouraged under tree plantings in islands. (See Appendix B) Turf grasses and gravel mulches are discouraged.

Irrigation and appropriate under-drainage are recommended for all large planting islands. Exterior electrical outlet box stubs should be provided for any maintenance needs or seasonal lighting displays.

Landscape maintenance is the sole responsibility of the property owner. The owner must maintain all required landscape in good condition. Damaged or dead materials should be replaced promptly. This obligation is to be assumed by subsequent property owners. Maintenance should include but is not limited to weeding, mowing, trimming, pruning, edging, cultivation, seeding, fertilizing, watering and pest control.

3. On-Street Public Parking Landscaping: Where possible, expanses of on-street parking should be softened by landscape islands or bump-outs (see Page 59 for more information on corner bump-outs) (See Figures 68a and 68b)

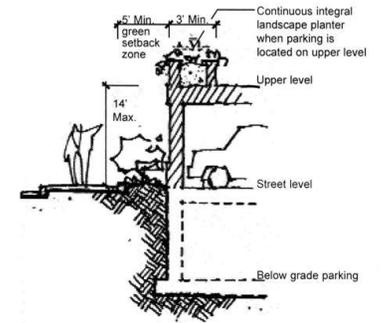
A raised curb planter no more than 6 inches in height should be provided around the landscaped island to protect the plantings in the island. Additional decorative metal fencing elements should be considered where feasible.

4. Parking Structure Landscaping:

A minimum five-foot landscape setback should be placed at the base of the parking structures, adjacent to the pedestrian areas in the public way. (See Figure 76) This setback should be planted with columnar canopy trees, ornamental trees, evergreens, shrubs, perennials and groundcovers.

Vines should be planted and staked at the base of the structure and encouraged to grow up the structure's walls.

Integral planters should be incorporated with cascading plant material. Planters are encouraged to be located along any openings within the parking structure that face a public right-of-way. Continuous and integral landscape planter is encouraged for upper level parking areas.



Parking Structure Landscaping
Figure 76

5. Service/Loading Area Screening: All service/loading areas should be screened from public view. Architecturally treated screen walls constructed of the same materials as the building or an opaque wooden fence are appropriate designs. Creative use of lattice screen walls and vine plantings are also an appropriate substitute. (See Figures 77a and 77b)

All trash storage/mechanical equipment screen enclosures should be secured and accessible through a locked gate(s).

The height of the screen wall should block views of said elements from pedestrians. In general, the height should be 6 to 8 feet.

e. Lighting in Vehicular Use/Parking Areas. Appropriate pedestrian-scaled street lighting should be provided in all public and private surface parking and service areas. (See Figure 78)



Typical masonry wall and landscape screening of service area
Figure 77a



Solid year-round decorative wood fence/stone screening of utilities
Figure 77b



Decorative street light in vehicular use areas
Figure 78

While the amount of light (photometrics) should be determined by the size of the lot and the selected fixture, the following general standards shall be considered:

- Light fixture and pole should coordinate with building architectural style and with established Village standards.
 - Color of all light fixtures and poles should be consistent with Village business district standards and the development's architectural style.
 - The light pole and fixture height should be pedestrian scaled and should not exceed 15 feet, or the height established by the Village.
 - Photometric design of any Village light fixture (luminaries) used in public rights-of-way, off street parking and loading areas or private open space should minimize glare onto adjacent properties or residential units above stores. The luminaire should be of a "cut-off" or shielded nature, reflecting light away from adjacent properties, reducing glare, and directing the desired light levels to the parking/loading area.
 - No light spillage should occur at parking or loading area property lines.
 - A source should be developed for low illumination, low wattage street lighting that is deemed appropriate by the Village.
 - Lighting type must be consistent with other district lamps (color corrected, high-pressure sodium, metal halide to be selected).
- f. Special Conditions.** Vehicular use areas such as parking and service areas may encounter and raise special conditions or concerns that should be treated on an individual basis by the design review board. Such issues may include but are not limited to:
- noise abatement
 - safety/security
 - maintenance
 - special adjacent land use

Each of these issues as they pertain to any new or existing developments in the Business Districts, **Multiple Family Residential** and Institutional areas should address the above or other special concerns as part of the development review process.

XII. Multiple Family Residential Use Areas

As discussed in the Village Comprehensive Plan, *Winnetka 2020*, “the purpose of **multiple-family zoning districts** is to buffer single-family neighborhoods from commercial areas and the traffic noise of Green Bay Road and the railroad. In theory, multiple-family development should provide a “transition” that is compatible with adjacent single-family use.”

a. Multiple family on Green Bay Road (B-1 & B-2 Zoning): The existing character of larger green, heavily landscaped setbacks is desired by the Village for all new Multiple Family Residential development in the Green Bay Road Corridor (B-1 & B-2 zoning). These enhanced landscape setbacks contribute to the Corridor’s existing landscape character and provide appropriate buffering and transition to adjacent single-family, institutional and open space uses. (See Figures 79a and 79b)

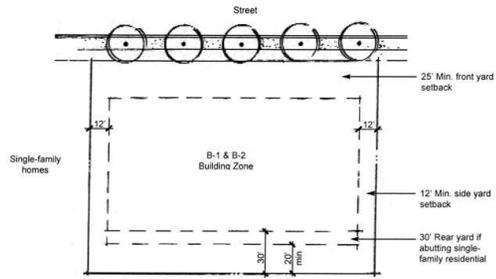
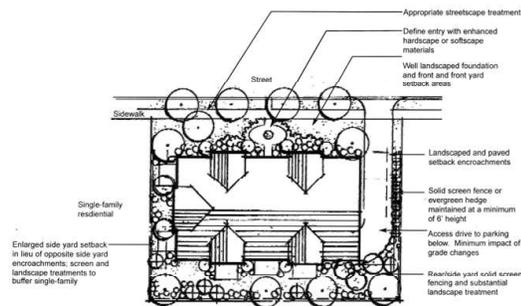


Figure 79a



Multiple Family B-1 and B-2 Zone and Institutional Site Landscaping
Figure 79b

b. Multiple family Residential in Business Districts (B-2, C-1, & C-2 Zoning): As a freestanding element multiple family residential may take the form of an individual use (townhomes, duplexes or condominiums) or as a shared mixed-use (condominiums or apartments) with first floor commercial and residential units above.

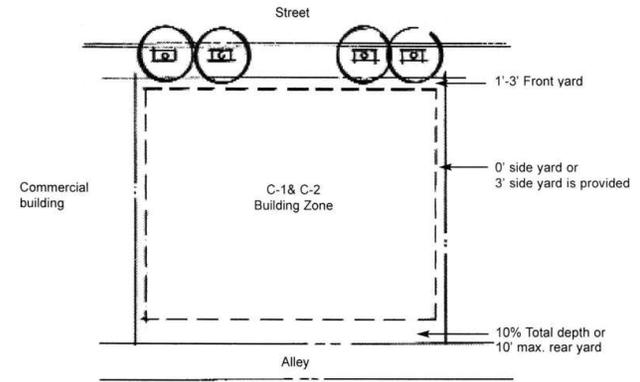


Figure 80a

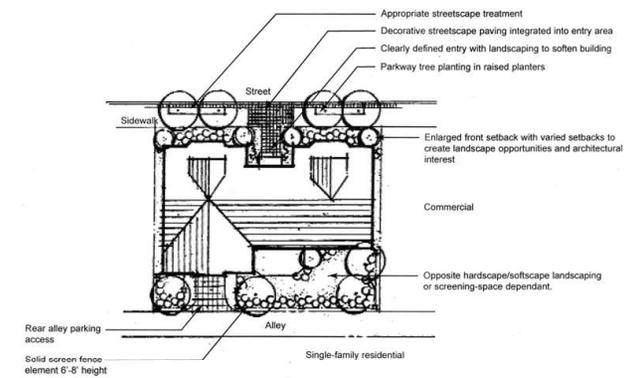


Figure 80b

When planned as an individual use in a business district or other areas of the community, significant front and side yard landscaped setbacks are encouraged to ensure compatibility and appropriate screening/transition from neighboring uses. (See Figures 80a and 80b)

While zoning setbacks in the C-1 and C-2 districts encourage compatibility of new multiple family and mixed-use within the existing commercial business district fabric, additional front, side and rear yard setbacks should be enlarged and addressed appropriate to adjacent zoning districts. If a new multiple family development in the district occurs on a transitional parcel (adjacent to a single-family, open space or institutional use) additional rear and side yard setbacks and appropriate landscaping are encouraged.

The guidelines are intended to ensure that new multiple family development is sympathetic and compatible to its surroundings.

Refer to the following guidelines pertaining to landscaping, parking lot landscaping, and streetscaping:

- Open Space Guidelines (See Page 61 below)
- Public Street Frontage (Streetscape) Guidelines (See Page 26)
- Parking Lot Landscaping Guidelines (See Pages 46-56)

XIII. Institutional Use Areas

Institutional Use Areas include the following:

- Streetscape/Pedestrian Zones
- Vehicular Use Area Standards
- Open Space
- Village Plant Palette
- Village Signs

The Village encourages the use of expanded/enlarged and enhanced setbacks where appropriate. The Village may require additional heavily landscaped yard setbacks, where new institutional development is adjacent to single-family residential, commercial or open space land uses.

The creation of additional public or semi-public open space is strongly encouraged in each plan submittal. The Village desires to increase and enhance its community open spaces and link them where possible in a unified open space plan.

- a. Site Landscaping.** For yard setbacks, building perimeter and foundation landscaping, the following elements should be considered (See Figure 79b for general example):

Village of Winnetka, Illinois

- Preserve, protect and enhance to the greatest extent possible any mature vegetation on the site.
- Ensure coordinated, creative, and well-designed landscaping.
- Use similar or like planted material palette as established in the guidelines (See Appendix B).
- Provide for a variety of plant materials with seasonal interest.
- Provide adequate year-round screening in site and rear side yard setbacks when adjacent to single-family or transitional land uses. Use plant materials, especially evergreen, to provide a continuous 6-foot high year round screening from adjacent residential uses.
- Where limited space exists, a solid masonry screen wall or decorative cedar wood fence element may be employed at a size of no greater than 6 feet high.

XIV. Village Signage

A well-coordinated sign system within a community is one of the most effective ways of creating lasting identity and providing wayfinding clarity. The Village of Winnetka can benefit from a coordinated sign program at important locations within each business district along the Green Bay Road Corridor and at other major Village entries. (See Appendix D: Action Items) A sign family hierarchy that provides function without excessive design detail, should be established for the following elements:

- Village Gateway
- Business District Identity
- Roadway/Corridor Identity
- Roadway Directional
- Street Sign
- Site Directional
- Informational
- Regulatory
- Building/Business Identity

- a. Village Gateway Signs.** Signs that enhance the Village's image and identity at its jurisdictional or approximate edges should be located at both the northern and southern Village boundaries along the Green Bay Road Corridor and to the west along Willow and Tower Roads adjacent to the Forest Preserve. The Village gateway signs should reflect the Village's architectural character and be made of quality materials such as masonry, stone, wood, and/or metal.

These sign areas should incorporate both landscaping and possibly lighting elements and should set the tone for the remaining public signs in terms of color, materials, scale, and architectural style. (See Figure 81a) The Village's "tree" logo should be incorporated into any gateway sign elements. (See Figure 81b)



Example of a village gateway sign element with landscaping
Figure 81a



The Village's "tree" logo should be incorporated into gateway sign elements
Figure 81b

b. Business District Ground Mounted Identity Signs. Signs that identify the Hubbard Woods, East/West Elm Street, and Indian Hill Business Districts, as special places should be located at their entry points along Green Bay Road. Smaller in size and scale to the Village Gateway signs, these elements should be small monument signs constructed of similar style and materials as the gateways. Again, special landscaping and lighting may be incorporated. (See Figures 82a and 82b)



Figure 82a

Examples of simple, elegant community gateway elements



Figure 82b

Village of Winnetka, Illinois

c. Roadway Corridor Identity Signs. Special identity signs placed along the Green Bay Road Corridor and along each business districts' major streets should be considered to enhance the unified identity for each of the business districts. These signs/ plaques/ banners could include colors, logos, or images linked to the design of the Village Gateway and Business District Identity signs. If determined to be feasible and desirable by the Village, such roadway signs may need to conform to specific IDOT Road Construction Standards. (See Figures 83a, 83b, and 83c)



Figure 83a

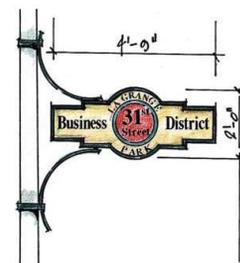


Figure 83b

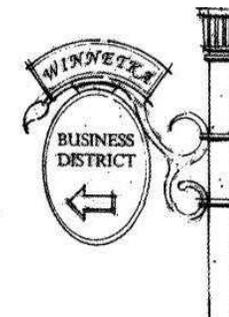


Figure 83c

Examples of coordinated roadway corridor identification sign.

d. Roadway Directional Signs. Specially designed signs should be placed along major streets to direct motorists, bicyclists, and pedestrians to key Village destinations, such as the Village Hall/Town Square, Metra Stations, and Hubbard Woods Park. (See Figure 84)



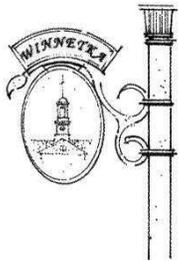
Coordinated public parking/wayfinding signage
Figure 84

- e. **Street Identity Signs.** New street signs could be designed with colors, logos, or images that contribute to a distinct identity for the business districts and/or Green Bay Road Corridor. (See Figure 85)



Custom business district street identity signage
Figure 85

- f. **Business District Directional Signs.** A limited number of strategically placed Business District directional signs should be installed along area arterial streets directing motorists and visitors to each business district. Directional signs in the business districts could be coordinated with street signs regarding color, logos, and images. (See Figures 86a and 86b)



Examples of business district directional signage
Figure 86b

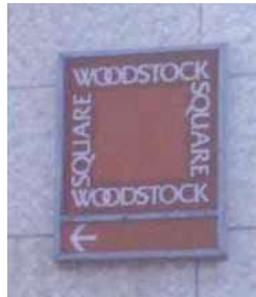


Figure 86a

- g. **Regulatory Signs.** Regulatory signs along streets and parking areas that address stop locations, speed limits, parking restrictions, and other requirements could be incorporated into a coordinated sign program by using posts or frames that are separate and distinct from the street lights and utility poles that they are currently attached to. A simple sign plan would help readability and significantly reduce the current sign clutter. (See Figure 87)
- h. **Informational Signs.** Information signs or district kiosks should be considered within each business district to guide pedestrians to buildings, points of interest, and parking lots. Scaled for both pedestrian and vehicular use, informational kiosks could offer district maps, event listings/locations and historical information. (See Figure 88)

Key locations for such signs may include the Metra Stations, Moffat Mall, the library, public safety building and essential district retail anchors and institutions. These signs could be installed along pedestrian walkways and corner bump-outs.



Example of informational sign/kiosk
Figure 88

XV. OPEN SPACE

A common element unifying Winnetka’s Business Districts, **Multiple Family Residential** and Institutional Areas are the unique public and private open spaces they have been created over time. Many of these open spaces lend to Winnetka’s sense of place, culture and history.

The Village’s open spaces range in size and activity level from the large and active Hubbard Woods Park to the small and passive sculpture corner near Village Hall. The Village has expressed a desire to expand its open space system and link, where possible, these spaces together in a unified Village open space plan.

a. Purpose. To ensure that current and future open spaces contribute to Winnetka’s ambiance; public and vehicular streetscapes should link open spaces to create a unified, continuous landscape system with mature plantings and seasonal interest. By working as a system, the Village’s open spaces intend to:

- physically and symbolically unify and enhance the Village’s natural features and character;
- preserve significant areas and encourage new tree, shrub and perennial plantings on public and private properties to the greatest extent possible;
- encourage pedestrian and bicycle circulation throughout the Village, especially among the Business Districts;
- create gathering points for Village events and activities;
- provide educational opportunities about the natural environment; and
- enhance property values.

b. Location. With this purpose in mind, new public and private developments within the Business Districts, **Multiple Family Residential** and Institutional areas should provide for ample, appropriately designed open space within the proposed site development plan. Recognizing the spatial limitations of each site, creative, relevant open space should strive to enhance the Village’s natural character.

Public, semi-public, or private open space and landscaped buffers should be located between low and higher density areas and to serve as a transitional element between land uses.

Where new or existing developments abut adjacent planned or existing open spaces, every effort should be made to integrate open spaces and link them into a unified whole.

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c. Open Space Types. There are a variety of active and passive open space types from which to select to create an optimal and appropriate open space amenity. Open space types include:

1. Active Open Space: (See Figures 89a-89h)

- Small park/playground
- Fountain garden
- Corner pocket park or plaza
- Mid-block walkways
- Entries or forecourts
- Courtyards
- Enhanced public parkway/pedestrian zone
- Bike path



Typical pocket park/playground
Figure 89a



A fountain element can be used as a focal point or community landmark
Figure 89b



Figure 89c



A simple corner pocket park or plaza can help screen vehicular areas
Figure 89d



Landscaped pedestrian mid-block walkways can activate otherwise unattractive areas
Figure 89e



Enhanced and articulate front yard setback in commercial, institutional or multiple-family residential areas
Figure 89 f



Prominent architectural articulation and streetscape elements at key building frontages help activate a streetscape
Figure 89g



Enhanced public parkway/pedestrian zone
Figure 89h

2. Passive Open Space: (See Figures 90a – 90d)

- Sculpture or art pockets
- Perennial gardens
- Enhanced or enlarged landscape transition buffer zones
- Passive garden areas
- Entries or forecourts
- Courtyards
- Corner gateway architecture treatments
- Enlarged front, side or rear yard landscape buffers



*Example of Art Pocket
Figure 90a*



*Enhanced or enlarged landscape transition buffer zone adjacent to vehicular use areas or single family residential.
Figure 90b*



*Enhanced private open space in yard setback
Figure 90c*



*Enhanced landscaping/streetscape setback from new development
Figure 90d*

- d. Components.** Regardless of the size of the open space or its active/passive character, a creative plan can integrate a variety of well-designed components from architectural and streetscape/pedestrian zone elements similar to those design standards set forth earlier in these guidelines. Both public and private open space design should incorporate architectural and streetscape/pedestrian zone elements.

e. **Location-Oriented Open Space Guidelines.** Certain locations within Winnetka’s Business District, **Multiple family Residential**, and Institutional areas have unique open space considerations either because of pending redevelopment or recommendations made in the 2020 Comprehensive Plan. These areas include, but are not limited to:

1. Indian Hill Business District: As the southern gateway to the Village, existing and new developments in this District should establish the Village’s natural character with significant amounts of open space to soften the District’s current vehicular character. The planting palette should provide a variety/scale of plant materials and seasonal interest along with appropriate and creative use of evergreen plantings. Village gateway sign elements should be incorporated adjacent to the Winnetka Avenue Green Bay Road intersection.

A major active open space to be considered in this district is a connected pedestrian walkway and landscape enhancements along the Metra Railroad ROW. Additional landscape and open space enhancements should be implemented at all corners of the Winnetka Avenue and Green Bay Road intersection.

2. Hubbard Woods Business District: As the northern gateway to the Village, existing and new developments in this District should establish the Village’s natural character with significant amounts of open space where Village gateway signs and improved landscaping should be implemented at the Village’s northern gateway on Green Bay Road. Landscape screening and enhancements should occur along adjacent uses at the Tower Road/Green Bay Road intersection.

3. Green Bay Road Corridor: Green Bay Road should appear as visually appealing as other “Winnetka Business District Streets”. The Village, in its review of open space elements, will pay particular attention to landscaping along the Green Bay Road Corridor and at its intersections with key Village streets. Village signs, enhanced landscaping and pedestrian/bicycle access should be important components to any Green Bay Road open space design.

If appropriate, the Village should coordinate with future IDOT Green Bay Road improvements to implement median planters along Green Bay Road north and south of Winnetka Avenue and Elm Street. The plant palette should include mature shade trees and a variety of under story plantings. The planter design should reflect and complement historical architecture, be maintenance efficient and provide safe travel and sight lines.

4. Elm Street Business District: When redeveloped, the District’s Post Office site should provide for a major public/semi-public open space element visually and symbolically linked to the Moffatt Mall/Village Hall axis as described in the 1921 Village Center Plan.

Coordinated landscape and road enhancements should occur at Chestnut and Spruce Streets and along the parking lot frontage extending from Pine Street to Spruce Street

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on the west side of Green Bay Road. Enhanced landscaping, parking lot perimeter screening, and signs should be installed to reduce the starkness of this Green Bay Road Corridor section. Small gateway park elements should be considered for the essential entry corners into the District at Winnetka Avenue.

5. Metra Stations: The appearance and function of the Village’s three train stations and the railroad right-of-way should be improved along the entire corridor with particular attention at the three Business Districts. The railroad embankments should implement significant amounts of landscaping with emphasis on seasonal interest and evergreens from the Village Plant Palette. (See Appendix B)

XVI. Submission Requirements

Maintaining the character of the Village is of prime importance to the Design Review Board (DRB) and the Village residents. Therefore it is required that each submission to the DRB demonstrate sensitivity to context by providing the necessary street elevation(s) and cross sections along with current photos of the adjacent buildings within a 50 foot distance on each side of the proposed building and the elevations of the existing buildings located across the street. Additional submission requirements are indicated on the application for design review.

In order to retain the Village character, it is required that the dominant architectural forms, materials and style be incorporated into the proposed building/development. Please refer to the corresponding section for additional information.

Submissions should also include a detailed landscape plan and streetscape plan in accordance with these guidelines.

As with multiple family residential developments, a detailed site and landscape plan should be submitted to the Village for review. Critical to the plan is the need to enhance and articulate the architecture of the building and the site’s landscaping.

The Village will review proposed open space elements by reviewing a detailed site plan/landscape plan. This plan must be submitted to the Village for review for all new developments in the Commercial Business Districts, Multiple Family Residential and Institutional areas.

Each plan must provide the required site landscaped parkway pedestrian zone, open space feature and vehicular use area landscape treatments.

The plan must provide for reasonable understanding, a statement describing the proposed open space element(s) and its public/private benefits. The Design Review Board (DRB) shall at its discretion review the open space element for its general compliance with the goals established in these guidelines and make a recommendation of its appropriateness.