



PLANNED DEVELOPMENT COMMISSION SPECIAL VIRTUAL MEETING AGENDA

MONDAY, OCTOBER 19, 2020 - 7:00 PM

In accordance with social distancing requirements and Governor Pritzker's Executive Order 2020-55 and Senate Bill 2135, the Winnetka Planned Development Commission special meeting on Monday, October 19, 2020 **will be held virtually**. The special meeting **will be livestreamed via the Zoom platform**. In accordance, with Public Act 101-0640, at least one representative from the Village will be present at Village Hall, and **the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location**. Pursuant to Executive Order 2020-55 issued by the Governor, the number of people who may gather at Village Hall for the meeting is limited due to the mandated social distancing guidelines. **Accordingly, the opportunity to view the virtual meeting at Village Hall is available on a "first-come, first-served" basis.**

The public has the following two options **for virtually observing and participating during this virtual Planned Development Commission meeting, including the ability to provide testimony or comments**. Persons wishing to participate are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

- 1) **Telephone (audio only)**. Call: 312-626-6799; when prompted enter the Meeting ID: 9500 681 2949 (Please note there is no additional password or attendee ID required.)
- 2) **Livestream (both audio and video feed)**. Download the Zoom meetings app to your smart phone, tablet, or computer, and then join Meeting ID: 9500 681 2949 ; Event Password: PDC101920

If you wish to **provide testimony or comments prior to the meeting**, you may provide them one of three ways:

- 1) By sending an email to planning@winnetka.org;
- 2) By sending a letter to Community Development Department, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093, or
- 3) By leaving a voice mail message at the phone number 847-716-3526. All voicemail messages will be transcribed into a written format.

All comments received by 6:00 PM the day of the meeting will be read at the meeting by staff. Written public comment is limited to 200 words or less and should identify both (1) the subject of the comment being offered (such as property address or case number of the agenda item) and (2) the full name of the individual providing the comments. In addition, you may wish to include your street address, phone number, and the name of the organization or agency you represent, if applicable.

General comments for matters not on the agenda will be read at the end of the meeting under Public Comment. Comments specific to a particular agenda item will be read during the discussion of that agenda item.

All emails received will be acknowledged either during or after the meeting, depending on when they are received.

Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3526.

**PLANNED DEVELOPMENT COMMISSION SPECIAL VIRTUAL MEETING AGENDA
MONDAY, OCTOBER 19, 2020 - 7:00 PM**

AGENDA ITEMS

1. Call to Order & Roll Call.
2. Introductory Remarks Regarding Conduct of Virtual Meeting.
3. **Continued from the September 2, 2020 and October 7, 2020 meetings - Case No. 19-15-PD: 688-694 Green Bay Road – The Walden – Preliminary Planned Development Review:** An amended application submitted by Walden Winnetka, LLC seeking approval of subdivision and zoning relief to allow the construction of a new six-unit multi-family residential building with below grade structured parking. The requested subdivision and zoning relief would permit (a) a plat of consolidation to combine two lots into one lot of record; (b) an exception from the maximum permitted building size (GFA); (b) an exception from the maximum permitted intensity of use of lot (impermeable lot coverage); (c) an exception from the maximum permitted building height; (d) an exception from the required principal roof form; and (e) an exception from the exterior wall articulation requirement along the north façade. The Village Council has final jurisdiction on this request.
4. Other Business.
 - a. November 4, 2020 Meeting - Quorum check.
5. Public Comment.
6. Adjournment

Note: Public comment is permitted on all agenda items.

NOTICE

All agenda materials are available at www.villageofwinnetka.org/agendacenter .

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that all persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041).



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLANNED DEVELOPMENT COMMISSION
FROM: DAVID SCHOON, DIRECTOR
ANN KLAASSEN, SENIOR PLANNER
DATE: OCTOBER 15, 2020
SUBJECT: 688 & 694 GREEN BAY ROAD-THE WALDEN RESIDENCES (CASE 2019-15-PD)
- AMENDED PRELIMINARY PLANNED DEVELOPMENT REVIEW

INTRODUCTION

On October 19, 2020, the Planned Development Commission (“PDC”) is scheduled to **hold a special meeting at which it will hold a continued virtual public hearing**, in accordance with social distancing requirements, Governor Pritzker’s Executive Orders and Senate Bill 2135, to consider **an amended application** submitted by Walden Winnetka, LLC (the “Applicant”) as contract purchaser of the property located at 688 and 694 Green Bay Road (the “Subject Property”), which is owned by CCF Winnetka, LLC (the “Owner”) to allow the construction of a new six-unit multi-family residential building with below grade structured parking on the Subject Property. The Applicant is now presenting an **amended** application still seeking approval of the following subdivision and zoning relief:

- A. A plat of consolidation to combine two lots into one lot of record;
- B. Preliminary planned development plan approval with the following zoning exceptions:
 - a. An exception from the maximum permitted building size (floor area ratio/gross floor area);
 - b. An exception from the maximum permitted intensity of use of lot (impermeable lot coverage);
 - c. An exception from the maximum permitted building height;
 - d. An exception from the required principal roof form;
 - e. An exception from the exterior wall articulation requirement along the north facade; and
 - f. Any other subdivision or zoning relief necessary for approval of the proposed multi-family residential building.

At the October 7 regular monthly meeting of the PDC, using the Zoom platform, the Commission was scheduled to hold a continued public hearing on the amended application. Unfortunately, there were technical difficulties with the audio-visual equipment in the Council Chambers, which prevented three members of the public in attendance in the Council Chambers from hearing the virtual meeting. To provide all parties adequate due process during the public hearing on this request, the Commission did not hold the public hearing and continued the hearing to a special meeting scheduled for Monday, October 19, 2020, at 7:00 p.m. in the Village Hall Council Chambers.

Attachment A contains the agenda packet materials for this item for the October 7 meeting. **At the request of the Commission, another hard copy of the agenda packet materials from the October 7 meeting are not being provided to Commission members.**

Also, a complete copy of the September 2 Planned Development Commission agenda packet materials for this application can be found on the following weblink - <https://www.villageofwinnetka.org/AgendaCenter/ViewFile/Agenda/09022020-182>.

Attachment B contains written public comments received by the Village since October 5, 2020.

RECOMMENDATION

At the October 19, 2020 Planned Development Commission meeting, the Commission is scheduled to consider the Applicant's proposed planned development and associated exceptions as well as the plat of consolidation.

After hearing from the Applicant and the public, the Commission may decide to take action on one of the following three options:

- 1) Continue the public hearing to a specific date to provide the Applicant and/or staff additional time to address questions and comments from the Commission.
- 2) Consider a motion recommending approval of the planned development and associated exceptions. (A copy of such motion is provided on the following pages.)
- 3) Consider a motion recommending denial of the planned development and associated exceptions. (A copy of such a motion is provided on the following pages.)

Staff and the Applicant will be present at the October 19 meeting to present a summary of the revised application and to answer any questions.

ATTACHMENTS

Attachment A: October 7, 2020, Agenda Packet Materials for Case No. 2019-15-PD: The Walden Residences Preliminary Planned Development – 688-694 Green Bay Road

Attachment B: Public Comments Received Since October 5, 2020.

Recommendation of Approval

The Planned Development Commission **recommends approval** of the preliminary plan for The Walden Planned Development to be located at 688-694 Green Bay Road, and it adopts the following findings of fact:

- A. The Walden Planned Development *is in conformity* with the standards set forth in Section 17.58.110 of the Zoning Ordinance:
 1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
 2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;
 3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;
 4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
 5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
 6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
 7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.

- B. The following zoning exceptions that are part of The Walden Planned Development:
 1. Gross Floor Area (GFA) of 17,701.5 square feet, whereas a maximum of 12,000 square feet (an 80% Floor Area Ratio) is permitted, a variation of 5,701.5 square feet (a 47.5% increase) [Section 17.32.010T – Maximum Building Size];
 2. Impermeable Lot Coverage of 11,168.7 square feet, whereas a maximum of 9,000 square feet is permitted, a variation of 2,168 square feet (a 24.1% increase) [Section 17.32.010F – Intensity of Use of Lot];
 3. Building height of 46.5 feet and 4 stories, whereas a maximum of 35 feet and 2 ½ stories is permitted, a variation of 11.5 feet (a 32.86% increase) [Section 17.32.010C – Height];
 4. Exterior Wall Articulation of only two feet for the difference in the plane of walls along the north building wall, whereas a minimum of four feet is required. [Section 17.32.010M – Exterior Walls];
 5. Principal Roof Form consisting of predominately a flat roof, whereas the roof pitch between the eave and ridge lines shall not be less than 35 degrees and not more than 60 degrees [Section 17.32.010(O) – Principal Roof Form]

are in conformity with the standards set forth in Section 17.58.120 of the Zoning Ordinance:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
 2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
 3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
 4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
 5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.
- C. The requested Plat of Consolidation of the Subject Property to create one lot out of two existing lots, *does meet* the standards set forth in Section 16.12.010 of the Subdivision Code.
- D. ***[The Planned Development Commission finds the inclusion of the following additional conditions is warranted in order to adopt a recommendation of approval.]***

1.

2.

]

Recommendation of Denial

The Planned Development Commission **recommends denial** of the preliminary plan for The Walden Planned Development to be located at 688-694 Green Bay Road, and it adopts the following findings of fact:

- A. The Walden Planned Development ***is not in conformity*** with the standards set forth in Section 17.58.110 of the Zoning Ordinance, which are set forth below:
 1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
 2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;
 3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;
 4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
 5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
 6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
 7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.

- B. The following zoning exceptions that are part of The Walden Planned Development:
 1. Gross Floor Area (GFA) of 17,701.5 square feet, whereas a maximum of 12,000 square feet (an 80% Floor Area Ratio) is permitted, a variation of 5,701.5 square feet (a 47.5% increase) [Section 17.32.010T – Maximum Building Size];
 2. Impermeable Lot Coverage of 11,168.7 square feet, whereas a maximum of 9,000 square feet is permitted, a variation of 2,168 square feet (a 24.1% increase) [Section 17.32.010F – Intensity of Use of Lot];
 3. Building height of 46.5 feet and 4 stories, whereas a maximum of 35 feet and 2 ½ stories is permitted, a variation of 11.5 feet (a 32.86% increase) [Section 17.32.010C – Height];
 4. Exterior Wall Articulation of only two feet for the difference in the plane of walls along the north building wall, whereas a minimum of four feet is required. [Section 17.32.010M – Exterior Walls];
 5. Principal Roof Form consisting of predominately a flat roof, whereas the roof pitch between the eave and ridge lines shall not be less than 35 degrees and not more than 60 degrees [Section 17.32.010(O) – Principal Roof Form]

are not in conformity with the standards set forth in Section 17.58.120 of the Zoning Ordinance, which are set forth below:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
 2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
 3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
 4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
 5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.
- C. The requested Plat of Consolidation of the Subject Property to create one lot out of two existing lots, **does not meet** the standards set forth in Section 16.12.010 of the Subdivision Code.

[Note: If the Planned Development Commission elects to recommend denial, a motion should be made and seconded to recommend denial. Following such a motion, and prior to voting on the motion, Commission members may wish to identify those standards which they find the project to be inconsistent.]



MEMORANDUM
VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLANNED DEVELOPMENT COMMISSION
FROM: DAVID SCHOON, DIRECTOR
ANN KLAASSEN, SENIOR PLANNER
DATE: OCTOBER 1, 2020
SUBJECT: 688 & 694 GREEN BAY ROAD-THE WALDEN RESIDENCES (CASE 2019-15-PD)
- AMENDED PRELIMINARY PLANNED DEVELOPMENT REVIEW

INTRODUCTION

On October 7, 2020, the Planned Development Commission is scheduled to **hold a continued virtual public hearing**, in accordance with social distancing requirements, Governor Pritzker’s Executive Orders and Senate Bill 2135, to consider **an amended application** submitted by Walden Winnetka, LLC (the “Applicant”) as contract purchaser of the property located at 688 and 694 Green Bay Road (the “Subject Property”), which is owned by CCF Winnetka, LLC (the “Owner”) to allow the construction of a new six-unit multi-family residential building with below grade structured parking on the Subject Property. The Applicant is now presenting an **amended** application still seeking approval of the following subdivision and zoning relief:

- A. A plat of consolidation to combine two lots into one lot of record;
- B. Preliminary planned development plan approval with the following zoning exceptions:
 - a. An exception from the maximum permitted building size (floor area ratio/gross floor area);
 - b. An exception from the maximum permitted intensity of use of lot (impermeable lot coverage);
 - c. An exception from the maximum permitted building height;
 - d. An exception from the required principal roof form;
 - e. An exception from the exterior wall articulation requirement along the north facade; and
 - f. Any other subdivision or zoning relief necessary for approval of the proposed multi-family residential building.

Attachment A includes a narrative explaining the changes the Applicant has made to its plans as well as copies of the plan sheets that have been revised.

As of the date of this memo, staff has not received any additional written comments from the public since the September 2, 2020 Planned Development Commission hearing.

SEPTEMBER 2, 2020, PLANNED DEVELOPMENT COMMISSION PUBLIC HEARING

At its regular meeting on September 2, the Planned Development Commission held a public hearing on the Applicant’s requested subdivision and zoning relief. A copy of the staff report and Applicant’s application materials presented at that meeting are attached (Attachment B). A complete copy of the September 2 agenda packet materials can be found on the following weblink - <https://www.villageofwinnetka.org/AgendaCenter/ViewFile/Agenda/09022020-182>.

At the September meeting, staff and the Applicant made presentations regarding the project. The Commission then heard from several neighbors and other community members as well as written comments submitted by the public. The neighbors generally spoke in opposition to the project given concerns regarding the height and mass of the building, potential stormwater impacts to adjacent properties, potential damage to adjacent properties due to construction, the impact of noise and light on adjacent properties, impact on nearby property values, and that the project provided no “compensating benefit”. Those members of the public that spoke in support of the project stated there is a demand for the proposed condominium project and that the proposed building is attractive and would be a welcome addition to Winnetka.

Given the late hour, the Commission continued consideration of the request to its next regularly scheduled meeting on October 7. However, before the Commission continued the item, Commission asked for further information regarding the following two items.

- The average square footage of each living unit is approximately 2,300 square feet and there are six units. Based upon these figures the building square footage would be only approximately 13,800 square feet. The proposed gross floor area is nearly 18,000 square feet. Where does the extra square footage come from?
- A resident noted that the Subject Property had previously been used as a landfill. The Commission requested additional information regarding this statement.

AMENDED PROPOSED PLAN

In response to comments and questions at the September 2 Commission meeting, the Applicant has provided the attached narrative and revised plan sheets (Attachment A). The revisions to the plan sheets include the following:

- Adjustments to the fourth-floor elements of the building, which will be addressed later in this staff report;
- Addition of a decorative aluminum fence around the roof terrace in response to a question from Commission members;
- Addition of a proposed 6'-0" fence along the west property line, which the applicant inadvertently left off its plans;
- Inclusion of a cross section detail of the proposed balcony railing and posts.

The following is a summary of the items the Applicant addresses in its resubmittal:

- **Building Height.** The Applicant reiterates its request and rationale for the height variation.
- **Floor Area.** In response to a Commission members question, the Applicant explains that gross floor area includes all floor areas of the building over 7' feet in height as measured from the outside exterior walls, not just the floor area of individual units. Staff concurs that in addition to the floor area of the units, gross floor area includes the floor area for lobbies, hallways, covered balconies, stairways, elevator shafts, storage units, and other common areas such as the fourth floor owners' lounge.

The Applicant notes that it has reduced the size of the storage units. It has also identified fourth floor areas in which the height of the floor area is less than 7' tall, thus the square footage of those areas has been removed from the gross floor area calculations. Based upon these adjustments, the gross floor area of the 4th story has been reduced by 214.4 square feet. The

overall building gross floor area has been reduced from 17,915.9 square feet to 17,701.5 square feet. The Applicant also notes that the fourth-floor adjustment shifts the west wall to the east by 6'-6" to further reduce exposure of this element from the properties to the west.

- **Drainage Concerns.** The Applicant explains that the homeowner's association (HOA) will be responsible in perpetuity for the maintenance of the underground stormwater vault. The Village will require the submittal of HOA documents that will include among other items language to ensure that the HOA is responsible for the maintenance of the underground stormwater vault and other stormwater improvements.
- **Structural Concerns.** As previously mentioned, a neighbor stated that the Subject Property had once been used as a landfill. The Applicant response states that they do not see or expect any evidence of a landfill on the property. As is routine, they have stated that they will complete soil testing and take whatever measures are necessary to address possible poor soil conditions.

Village staff has reviewed various Village files, and we have yet to find any documentation that would indicate that either property had been used as a landfill. Based upon Village records, what we have been able to learn is that the 688 Green Bay site has had a home since 1909, and the 694 Green Bay site had a home since around 1915 and until its recent demolition. So if either site had been used as a landfill (or dump), it would have been before those respective dates.

We have asked a couple of long-term staff members if they are aware of any oral history that would indicate that the Subject Property had been used as a landfill. They had not heard of such. The site to the south of the Subject Property, 680 Green Bay Road, had been acquired and constructed as the Village Public Works Yards in 1926, and had been used as such until the Village sold the property in 1969.

Staff also reached out to the Winnetka Historical Society, and they were unable to find any documentation indicating the properties had been used as a landfill. Their information also confirmed the approximate dates for the construction of homes on the Subject Property.

- **Landscaping.** The Applicant continues to offer to plant landscaping screening on the 680 Green Bay Road property along the Subject Property's south property line and to propose that the HOA perpetually maintain the landscaping. The Applicant also notes that the landscape plan now shows a 6'-0" fence along the westerly property line, which had inadvertently been left off the plans. This is in addition to arbor vitae along this property line.
- **Property Values.** The Applicant provides a response to public comments regarding the proposed project negatively impacting property values.
- **Local Projects.** In response to a question from a Commission member, the Applicant has provided the following two projects as examples of local projects which he has completed that are most comparable to the proposed project.
 - Laurel Avenue Condominiums – 151 Laurel Avenue, Lake Forest, IL
 - Parkside Townhomes – 625 Winchester Road, Liberty Village, IL

The proposed development remains fundamentally the same, with the exception of the adjustments noted above:



Figure 2 – Amended Plan - East Building Elevation

SUBDIVISION & ZONING RELIEF

The property is zoned B-1 Multi-Family Residential District, which allows multiple-family dwelling units within a structure. The following table summarizes the requirements of the district for the Subject Property, the dimensions for the proposed development, and any required zoning variations. The only change to the requested variation since the September 2 Commission meeting is regarding maximum floor area ratio.

Standard	B1 District Permitted/ Required	Proposed Development	Amended Required Variation
Maximum Height	35 feet 2 ½ stories	46.5 feet 4 stories	11.5 ft, a 32.86% increase
Maximum Units Per Acre 18 units per acre, except if lot is over 14,520 sf and has average lot width of 120 ft or more, than 24 units per acre	6 dwelling units	6 units	
Minimum Average Lot Width	60 feet	100 feet	
Maximum Floor Area Ratio (80%)	12,000 sf	17,701.5 sf	5,701.5 sf, a 47.5% increase
Maximum Building Coverage (40%)	6,000 sf	5,595.3 sf	
Maximum Impermeable Lot Area (60%)	9,000 sf	11,168.7 sf	2,168,6 sf, a 24.1% increase
Minimum Front Yard Setback	25 feet	25 feet	
Minimum Side Yard	12 feet	12 feet	
Minimum Rear Yard (adjacent to SFR)	30 feet	30 feet	

Standard	B1 District Permitted/ Required	Proposed Development	Amended Required Variation
Exterior Walls (articulation)	Minimum 4-foot articulation @ 50 feet of wall length.	Provided by all walls except north wall is articulated by 2 feet.	North wall articulation is not 4 feet.
Principal roof form	Minimum 35 degrees, Maximum 60 degrees	Flat	The structure contains a roof that is predominately flat.
Minimum # of Parking Spaces 2 ¼ spaces per dwelling unit total, including ¼ for guests	14 spaces, including 2 guest spaces	14 spaces, including 2 guest spaces	
1 enclosed space per dwelling unit	6 spaces	12 spaces	
Parking Setbacks	Minimum 5' from any non-front lot line	+5 feet	
	Not permitted within required front yard	None proposed	

NOTES: Cornices, sills, belt course, eaves, gutters, downspouts, and ornamental features limited to 18" encroachment in each required yard.

The following is a summary of the requested subdivision and zoning relief.

Plat of Consolidation. As previously described, the Subject Property consists of two parcels. In order to construct the proposed project on the site, the two lots must be combined into one lot of record. Included in Attachment B is a copy of the plat of consolidation, which meets the lot requirements of the Zoning Code and the requirements of the Subdivision Regulations.

Planned Development.

Given that the Subject Property is over 10,000 square feet in lot area, the proposed redevelopment of the site requires planned development approval. The Planned Development chapter of the Zoning Ordinance states that the purpose and intent of the planned development process is:

to make available a special use procedure that departs from the strict application of the specific zoning requirements of the district in which the development is located, in an effort to promote progressive development and redevelopment of land in the multi-family and commercial zoning districts by encouraging more creative and imaginative design for land developments than is possible under the zoning regulations that generally apply in those zoning districts.

As part of the planned development process, the Applicant also has the ability to request approval of exceptions to specific zoning standards. The Applicant requests approval of the following zoning exceptions associated with its proposed multi-family building on the Subject Property:

- A. Maximum Building Size Variation – The consolidated lot area of 15,000 square feet allows a maximum gross floor area (GFA) of 12,000 square feet (or what is also called a maximum floor area ratio of 0.80). As proposed, the building consists of approximately 17,701.5 square feet of gross floor area, requiring a variation of 5,701.5 square feet (47.5%).
- B. Maximum Building Height Variation – The Zoning Code measures the height of a building from the top of the finished first floor to the highest point of the building. In the B-1 District, the maximum

permitted building height is 35 feet and 2 ½ stories. The proposed building height as revised since the Design Review Board recommendation is now 46.5 feet and four (4) stories. The following summarizes the heights of various elements of the building as measured from the top of the first floor:

- a. 46.5 feet – to highest point of decorative gable at center of the building.
 - b. 43.4 feet – to top of flat roof of enclosed storage and lounge area
 - c. 42.9 feet – to top of each of the corner tower roof elements
 - d. 35.0 feet – to top of parapet wall between the four corners roof elements.
- C. Impermeable Lot Coverage – The proposed impermeable lot coverage (ILC) (building footprint and paved surfaces) is 11,168.7 square feet, whereas a maximum ILC of 9,000 square feet is allowed. The proposed ILC exceeds the amount allowed by 2,168.7 square feet, or 24.1%. It should be noted whatever amount of impermeable lot coverage is provided; the applicant will be required to provide the stormwater detention to accommodate that impermeable surface per the Village stormwater management requirements.
- D. Principal Roof Form Variation – The proposed design incorporates pitched roof gables at the four corners of the building as well as the center; however, the primary roof design is that of a flat roof. The Zoning Ordinance prohibits flat roofs, shed roofs, mansard roofs, butterfly roofs, domed roofs, and the like.
- E. Façade Articulation Variation - The façade articulation requirement is intended to assure that the apparent scale of the building is compatible with the scale of near-by single family development by requiring no exterior wall be unarticulated for a distance greater than 50 feet. The Zoning Ordinance requires the separation distance in the plane of the walls be at least four (4) feet. The north wall of the proposed building does not comply with this requirement as the proposed separation distance in the plane of the walls is only two feet.

The proposed development meets all other zoning requirements (e.g. building coverage, yard setbacks, off-street parking space requirements, etc.)

PLANNED DEVELOPMENT STANDARDS, EXCEPTIONS STANDARDS, AND COMPENSATING BENEFITS

When considering a planned development, the Commission is to consider the standards for approving a planned development and the standards for granting exceptions associated with a planned development.

No special use permit for a planned development shall be recommended by the Planned Development Commission or approved by the Village Council unless it is found that:

1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;
3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;

4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.

In addition to the general standards for considering a planned development, the following standards shall be considered in reviewing any request for exceptions to the subdivision or underlying zoning district use, lot, space, bulk, yard, and parking regulations, as each standard may be applicable:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.

Section 17.58.120.B talks about public benefits in terms of a compensating benefit, the purpose of which is to advance the Village's physical, cultural, environmental and social objectives in accordance with the Comprehensive Plan and other plans and policies. The Code section provides a non-exclusive list of potential compensating benefits that may include:

1. The provision of community amenities for public use, such as plazas, malls, formal gardens, places to congregate, outdoor seating, and pedestrian facilities;
2. The preservation of existing historic features;
3. The dedication and provision of public open space and public recreational amenities, such as recreational open space, including accessory buildings, jogging trails, playgrounds, and similar recreational facilities;
4. The adaptive reuse of existing buildings;
5. The provision of public car and/or bike share facilities;

6. The provision of off-street public parking spaces;
7. The provision of affordable housing units;
8. The incorporation of building and site elements that enhance the environment and increase sustainability; and
9. The provision of uses, spaces, or infrastructure that provide a benefit to the public and which there is a demonstrated public need.

In support of its request, the Applicant provided a narrative addressing the standards and compensating benefits, see Attachment B. The Applicant has identified the compensating benefits as providing an architectural design that is consistent with the aesthetic character and providing a much needed housing type for the community. In addition, the Applicant has provided the following studies and reports to support its application:

- a. Market Feasibility Report
- b. Village Services Report
- c. Traffic & Parking Evaluation
- d. Building Shadow Study

Copies of these reports can be found in Attachment B.

Based upon the written application materials submitted by the Applicant, the information the Applicant presents during the public hearing, and the comments provided by the public, the Commission will need to determine if the proposed development conforms with the standards for approving a planned development and the requested zoning exceptions.

RECOMMENDATION

At the October 7, 2020 Planned Development Commission meeting, the Commission is scheduled to consider the Applicant's proposed planned development and associated exceptions as well as the plat of consolidation.

After hearing from the Applicant and the public, the Commission may decide to take action on one of three options:

- 1) Continue the public hearing to a specific date to provide the Applicant and/or staff additional time to address questions and comments from the Commission.
- 2) Consider a motion recommending approval of the planned development and associated exceptions. (A copy of such motion is provided on the following pages.)
- 3) Consider a motion recommending denial of the planned development and associated exceptions. (A copy of such a motion is provided on the following pages.)

Staff and the Applicant will be present at the October 7 meeting to present a summary of the revised application and to answer any questions.

ATTACHMENTS

Attachment A: Applicant's Narrative and Revised Plan Sheets

Attachment B: September 2, 2020, PDC Review of Preliminary Plan – Staff Report & Applicant's Application Materials

Recommendation of Approval

The Planned Development Commission **recommends approval** of the preliminary plan for The Walden Planned Development to be located at 688-694 Green Bay Road, and it adopts the following findings of fact:

- A. The Walden Planned Development *is in conformity* with the standards set forth in Section 17.58.110 of the Zoning Ordinance:
 1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
 2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;
 3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;
 4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
 5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
 6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
 7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.

- B. The following zoning exceptions that are part of The Walden Planned Development:
 1. Gross Floor Area (GFA) of 17,701.5 square feet, whereas a maximum of 12,000 square feet (an 80% Floor Area Ratio) is permitted, a variation of 5,701.5 square feet (a 47.5% increase) [Section 17.32.010T – Maximum Building Size];
 2. Impermeable Lot Coverage of 11,168.7 square feet, whereas a maximum of 9,000 square feet is permitted, a variation of 2,168 square feet (a 24.1% increase) [Section 17.32.010F – Intensity of Use of Lot];
 3. Building height of 46.5 feet and 4 stories, whereas a maximum of 35 feet and 2 ½ stories is permitted, a variation of 11.5 feet (a 32.86% increase) [Section 17.32.010C – Height];
 4. Exterior Wall Articulation of only two feet for the difference in the plane of walls along the north building wall, whereas a minimum of four feet is required. [Section 17.32.010M – Exterior Walls];
 5. Principal Roof Form consisting of predominately a flat roof, whereas the roof pitch between the eave and ridge lines shall not be less than 35 degrees and not more than 60 degrees [Section 17.32.010(O) – Principal Roof Form]

are in conformity with the standards set forth in Section 17.58.120 of the Zoning Ordinance:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
 2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
 3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
 4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
 5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.
- C. The requested Plat of Consolidation of the Subject Property to create one lot out of two existing lots, *does meet* the standards set forth in Section 16.12.010 of the Subdivision Code.
- D. ***[The Planned Development Commission finds the inclusion of the following additional conditions is warranted in order to adopt a recommendation of approval.]***

1.

2.

]

Recommendation of Denial

The Planned Development Commission **recommends denial** of the preliminary plan for The Walden Planned Development to be located at 688-694 Green Bay Road, and it adopts the following findings of fact:

- A. The Walden Planned Development ***is not in conformity*** with the standards set forth in Section 17.58.110 of the Zoning Ordinance, which are set forth below:
 1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
 2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;
 3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;
 4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
 5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
 6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
 7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.

- B. The following zoning exceptions that are part of The Walden Planned Development:
 1. Gross Floor Area (GFA) of 17,701.5 square feet, whereas a maximum of 12,000 square feet (an 80% Floor Area Ratio) is permitted, a variation of 5,701.5 square feet (a 47.5% increase) [Section 17.32.010T – Maximum Building Size];
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 5. Principal Roof Form consisting of predominately a flat roof, whereas the roof pitch between the eave and ridge lines shall not be less than 35 degrees and not more than 60 degrees [Section 17.32.010(O) – Principal Roof Form]

are not in conformity with the standards set forth in Section 17.58.120 of the Zoning Ordinance, which are set forth below:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
 2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
 3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
 4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
 5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.
- C. The requested Plat of Consolidation of the Subject Property to create one lot out of two existing lots, ***does not meet*** the standards set forth in Section 16.12.010 of the Subdivision Code.

[Note: If the Planned Development Commission elects to recommend denial, a motion should be made and seconded to recommend denial. Following such a motion, and prior to voting on the motion, Commission members may wish to identify those standards which they find the project to be inconsistent.]



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rick@rmswanson.com

September 14, 2020

Mathew Bradley
Chairman of the
Planned Development Commission
510 Green Bay Rd.
Winnetka, IL 60093

Re: 688 & 694 Green Bay Rd.

Chairman Bradley and Members of the Planned Development Commission:

Thank you for the opportunity to present our proposed development on September 2nd and listen to questions, comments and concerns raised by the Commission members and the public. That meeting ran longer than we all would have liked, exasperated by the need to have it conducted virtually. Notwithstanding, we feel that the time was well spent, and we made good progress.

The decision to continue the meeting has allowed us sufficient time to digest and respond to each of the tendered issues after careful consideration by our team. We listened carefully and took notes to assure that hopefully no issue was overlooked.

The continuation of the meeting scheduled for this October 7th provides us an opportunity to address each issue with the respect they deserve. We submit for your consideration the following:

Building Height-

It is important to recognize that the overwhelming mass of the building is within the maximum allowable height of 35'-0" (measured from the first-floor elevation to the parapet wall). The principal elements that are being challenged are intended to provide a more aesthetically pleasing and authentic appearance, a conclusion which the Design Review Board unanimously agreed. Eliminating these would significantly reduce the quality of the design.

The PUD encourages petitioners to find creative solutions to meet the current needs of the community while embracing the character of the existing neighborhood. We feel we have embraced the intent and spirit of that provision.

We have consistently explored ways to address the height while maintaining the design and functionality. Please know that we already reduced the height of the building by 4'-0" after several months of discussions with Village staff, neighbors and DRB review process.

A relevant question was raised regarding the method of protecting those using the rooftop garden from falling off the building. Our response is to install a decorative aluminum picket style fence. In addition to addressing a life safety issue, this is also a routine method of screening elements such as rooftop HVAC units. The proposed railing will be 42" tall and installed at the outside perimeter of the garden areas. This cannot be seen from the ground and will have no visual impact to the neighboring properties.

Floor Area-

There was much discussion at the prior meeting about the Gross Floor Area of the building, that it exceeds the standards set forth for the B-1 zoning classification. There are several points we wish to make in response. It bears repeating that *the PUD encourages petitioners to find creative solutions to meet the current needs of the community while embracing the character of the existing neighborhood.*

There was some discussion about the calculation and interpretation of Gross Floor Area as it relates to our average unit sizes; some clarification may be warranted. The Village calculates floor area by measuring to the outside of the exterior walls and includes portions of attic area as well. The Gross Floor Area Matrix we provided in our submittal packet illustrates in detail, all the areas that are considered by ordinance as "floor area". This includes balcony space and any space that is more than 3'-0" above grade. In our circumstance, no garage space was counted, and we adjusted our design to assure this. The average floor area that we offer as the "average unit size" is limited to only the *occupied* space and does not count common areas such as lobbies, halls, owner lounge, owner storage, elevators and exit stairways. And, while you cannot occupy an exterior wall, it is still considered floor area.

We have been asked to consider incorporating the proposed storage areas into the dwelling unit spaces. Village staff will confirm that we proposed a plan that had the storage areas located on each floor, but we needed to abandon that design to comply with egress requirements by the Fire Marshall. We explored putting the storage units within the garage area, but the design and cost prove to be unfeasible. The most practical and benign solution is the roof.

Since our last meeting we discovered the recent reduction of the building height provided the unintended consequence of causing slightly more exposure to the shed roof covering the storage areas on the west side of the proposed building. To address this, you'll see that we revisited the fourth-floor plan and (i) reduced the size of each of the storage units, and (ii) shifted the west wall to the east by 6'-6" to further reduce the exposure from any angle to this roof element. This modification *decreased* the Gross Floor Area by 214.4 sf and reduced the adjusted floor area overage from 49% to 47.5%.

While our Gross Floor Area still exceeds the FAR for the B-1 zoning classification, it is worth noting that the existing building to our south (680 Green Bay Road), constructed in 1976, is:

- 166% over the allowable floor area,
- has a density that is 25% over the allowable 22-units,
- is 5'-8" above the allowable height, and
- is only 6'-4" from the shared property line.

We respect that these grandfathered variances cannot change but find it somewhat disingenuous when the residents of this property chastise our project for requesting variances that are significantly less intrusive than what they already introduced to the neighborhood. The "setting of precedent" was established long before our proposed project was envisioned.

Drainage-

The question was raised as to who will be responsible for maintaining the stormwater storage vault and what guarantees the developer will provide that it will reduce runoff. First, the homeowner's association will have responsibility for perpetual maintenance of the entire property, including stormwater related utilities. This is no different than any other project in the community. Secondly, we can only control that water flowing to and from our property. The system we designed is within compliance of all current stormwater engineering standards and the result of careful review of all existing conditions both on and off our property. The approved solution is to control stormwater runoff by diverting flow to an underground vault and releasing it to the east. Extraordinarily little, if any water will flow to the west, which has been the primary source of concern.

Structural Concerns-

The question was raised regarding the structural stability of the existing soils and the possibility our property might be on a landfill. Given the history of this property and the age of the existing homes, we do not see or expect any evidence of landfill. However, it is routine to complete soil testing of the property, which we have initiated. Regardless of what is found, we will take whatever measures are determined by our structural consultants to be appropriate to mitigate possible poor conditions. This will also include consideration of methods used to install underground storage vaults and building foundation.

Some adjacent neighbors have requested that they be listed as additional named insureds on our general contractor's insurance policy. The contractor has consulted with its insurance carrier and the adjacent neighbors will be pleased to know that they can be added as additional insureds.

Landscaping-

A comment was made by one of the unit owners at 680 Green Bay Road that requires clarification. All the existing trees along our south property line will be removed. They are in poor condition and or considered invasive species. We offered, at our expense to plant landscape screening in the form of a deciduous, tall growing tree/hedge such as arbor vitae or cedars on the 680 Green Bay Road

property and along our south property boundary. We were also straightforward that we would do so at our expense, including perpetual maintenance by way of our HOA. This will require the cooperation of our neighbor and would seem a mutually beneficial arrangement given the proximity of the existing structure. We remain open to reasonable and productive dialogue in this regard but wish to make it clear that we never stated at any time that it was anyone's burden other than ours.

In addition, a comment was made regarding the proposed fence on our westerly property boundary. It has always been our intent to install a 6'-0" tall cedar fence in this location. There is an existing chain link fence that is not on our property, which may prohibit the installation of a second fence, if building code mandates. This will be in addition to the 5'-0" tall arbor vitae proposed on the east side of this new fence. This note has been added to the Landscape Plan along with a representative photo of the proposed fence.

Property Values-

The comment has been made repeatedly that our proposed project will negatively impact property values in the neighborhood. Since our property is and has been zoned for multifamily dwelling units for some time, it would seem reasonable to conclude that this concern relates to the requested variances.

It should be noted that the proposed units are priced at over \$1.3 million and we have purchase agreements for 2 of the 6-units. We have intentionally postponed further exposure to the market pending preliminary approvals. However, it does say something about the product we offer and more importantly the demand within the Winnetka community. That could not be achieved without offering the high-quality amenities and design that is expected.

Several of our neighbors have expressed concern that the requested FAR variance and proposed taller design elements will diminish the value of adjacent properties. The fact is that it has not and will not negatively impact property values. This is effectively demonstrated by the fact that 680 Green Bay Road has been there for 44 years, and its more intrusive height, mass, and setbacks didn't destroy property values, and it didn't detour the Walden Lane homeowners from buying in the neighborhood.

We have been continually advised by real estate professionals throughout the North Shore that more modern housing stock is needed for those residents who no longer require larger single-family homes but still want to remain in the community and prefer single-level living. We are replacing a physically and functionally obsolete vacant single-family home (and a site where another has already been demolished) with a product that is in demand. Testimony provided by real estate brokers in the community suggests property values will be more inclined to go up as a result of our proposed project, and historic data supports this trend with similar developments in other communities.

Project Experience-

I was asked to respond to personal experience with projects of this type and examples that could be visited in the area. While the Executive Biography provided

in our submittal packet provides a fairly comprehensive summary, the projects that would seem most relevant for this purpose are as follow:

- Laurel Ave Condominiums- 151 Laurel Ave, Lake Forest, IL
- Parkside Townhomes – 625 Winchester Rd, Libertyville, IL
- Everett Farms – James Court, Lake Forest, IL
- Forest Square - 840 N Waukegan Road, Lake Forest, IL
- Lovell’s Restaurant – 915 N Waukegan Rd, Lake Forest, IL
- Chase Bank- 840 Waukegan Rd, Lake Forest, IL
- Conway Court- 810 N Waukegan Rd, Lake Forest, IL

I can also provide a comprehensive list of references upon request. Our general contractor will be Newlook Construction LLC who have completed numerous upscale residential projects in Winnetka, Glencoe, Wilmette, and Kenilworth.

Conclusion-

I wish to offer some insight that I believe is relevant and important. We were introduced to this property by the lending group that took possession of the property through a lengthy foreclosure process. This new owner (the “Seller”) had no idea what could be done with the site other than what was provided in the zoning code. We are routinely asked to look at properties in high barrier to entry communities that require a more aesthetically conscious approach.

The plans the previous developer proposed were, what some would call, the standard “plug and play” multi-family model. Like so many lenders we work with, they simply wanted to take the path of least resistance that would get this asset out of their portfolio. I advised that the easiest solution is to construct a 3-story apartment of 6, 1,200 sf 2-bedroom units with parking on the first floor as opposed to below ground. Their preference, at that time was to just sell the land and move on.

I offered to do additional research and meet with local real estate professionals to determine what housing product the Village needed most. The unanimous response was high quality boutique dwelling units on a single floor with enclosed parking. I asked this same collective of professionals to provide a program summarizing all the elements this buyer would expect and treated them as a typical client. Like any client/architect relationship, they critiqued the plan and we made revisions to an eventual result. I met with the Seller and we agreed on terms to allow sufficient time to work through the Village process.

Like many developers, we take significant risk of time and expense to get to a point of approval and it is never easy. To reduce that exposure, we take extra time to understand the community culture and character by meeting with stakeholders and listening. While it is a sometimes-frustrating process, the result is always better than if we had not.

We carefully considered and continue to rely upon the PUD language within the Village’s Zoning Code: *to make available a special use procedure that departs from the strict application of the specific zoning requirements of the district in which the development is located, in an effort to promote progressive development and*

redevelopment of land in the multi-family and commercial zoning districts by encouraging more creative and imaginative design for land developments than is possible under the zoning regulations that generally apply in those zoning districts. The exceptions we are requesting are within the very spirit of this language.

We respectfully request that you consider the following points in your determination:

- We have continued to make numerous changes to accommodate concerns raised by our neighbors and Village staff.
- Removing the design elements that enhance the design may eliminate the height issue from a technical perspective, but it sacrifices aesthetic integrity.
- Further reduction of the floor area to meet the FAR provisions in the B-1 Classification is not an option for us. We are responding to a specific market need in the community and cutting floor area will have a profound impact on the marketability of these units and the financial feasibility of this project.

We accept that the final decision with regard to these exceptions will be with the Village, and we remain hopeful that after careful consideration, The Walden will be deemed to be an asset to the community.

Lastly, there was a comment or two from neighbors that the decision-making process was moving forward too quickly, without appropriate consideration and due process. As you might imagine, we take great exception to that. We've been working on this project for over 18 months. The facts will show that we first presented our proposed development to the Village Counsel over a year ago on July 16th, 2019. We've had numerous discussions and communications with neighbors since that time and have taken the time and worked diligently to address their concerns. To nobody's fault, our project has been delayed by COVID-19 for almost 6 months. The time has come, however, where we must complete the entitlement process and begin construction.

We appreciate this opportunity to present our project to the Planned Development Board and look forward to further discussing this in more detail with you on October 7th. It is important to us that we earn your support and recommendation to the Village Counsel at that meeting.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line extending to the right.

Rick Swanson AIA, NCARB
Managing Member

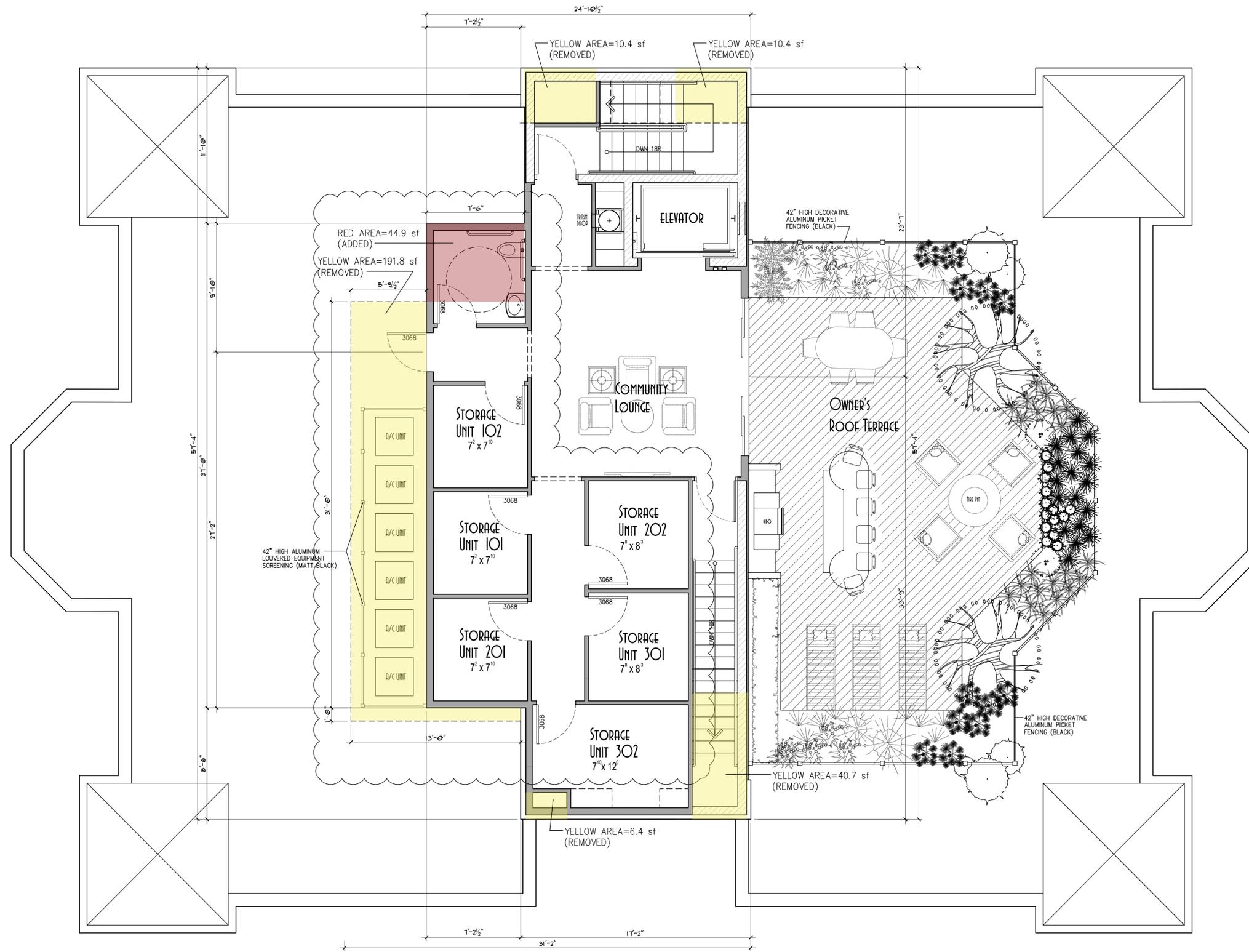
QUANTITATIVE SUMMARY

The Walden of Winnetka

Proposed 3-story, 6-Unit Residential Building

688 Green Bay Road, Winnetka, Illinois

Subject Property Information	Existing	Proposed
Current Zoning	B-1	B-1 PUD
Current Use	Single-family Residential (vacant)	Multi-family
Lot Width	100'-0"	N/C
Lot Depth	150'-0"	N/C
Gross Lot Area	15,000 sf	N/C
Acreage	0.345-acres	N/C
Adjacent Property to the South	4-story multi-family Condo	N/C
Adjacent Property to the North	2-story multi-family Duplex	N/C
Adjacent Property to the East	Green Bay Road	N/C
Adjacent Property to the West	Single-family Residential	N/C
Proposed Development	Permitted By Zoning	Proposed
Density	6-Units (18-DU per acre)	6-Units
Average Residential Unit Floor Area		
Gross Floor Area	12,000 sf (80% of lot area)	17,701.5 sf (47.5%) over
<i>Building Height</i>	35'-0" (above first floor elev.)	
Roof Parapet		35'-0"
Minor Roof Forms (corner tower elements)		42'-11" (7'-11" over)
Major Roof Forms (gable element)		46'-6" (11'-6" over)
Building Coverage of Lot	6,000 sf (40%)	5,595.3 sf (404.7 sf under)
Impermeable Surface Area	9,000 sf (60%)	11,168.7 sf (24% over)
Front Yard Setback	25'-0"	25'-0"
Rear Yard Setback	30'-0"	30'-0"
Side Yard Setback (south)	12'-0"	22'-0"
Side Yard Setback (north)	12'-0"	12'-0"
Roof Overhangs	18"	8"
<i>Parking</i>	13 1/2-spaces	14-space + 4-street spaces
Below Ground (2-per unit)	12-spaces	12-spaces
On-site Guest Parking	1 1/2-spaces	2-spaces (1 is Handicap)
Street Parking (lot frontage)		4-spaces
<i>Exterior Walls (Difference in plane of walls)</i>	<i>Articulation not greater than 50'-0" & wall plane at least 4'-0"</i>	
East Elevation		Meets the Standard
South Elevation		Meets the Standard
West Elevation		Meets the Standard
North Elevation		Articulation but not 4'-0"
<i>Landscaping & Existing Trees</i>		
Total Existing Trees on Property		16-Trees (152"-gross)
Total Trees to be Removed		12-Trees (114"- gross)
Required Replacement Inches		31"
Total Proposed Replacement Trees		15-Trees (45" gross)
<i>Stormwater Control</i>	Developer to provide a combination of dry detention basin and buried stormwater vault under the proposed driveway . The result will be minimal sheet flow to the westerly neighbors	



ROOF FLOOR PLAN

1/2" = 1'-0" REVISED

GENERAL NOTES FOR THIS SHEET

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PROFESSIONAL DESIGN FIRM # 184-003936

THE WALDEN RESIDENCES
 688 GREEN BAY ROAD
 WINNETKA, ILLINOIS

R.M. SWANSON ARCHITECTS
 1930 AMBERLEY CT OFFICE: 847.571.3975
 LAKE FOREST, IL 60045 rick@rmswanson.com

DESIGNED BY:
 RICHARD M. SWANSON, AIA
 JULIO A. VEGA

PREPARED BY:

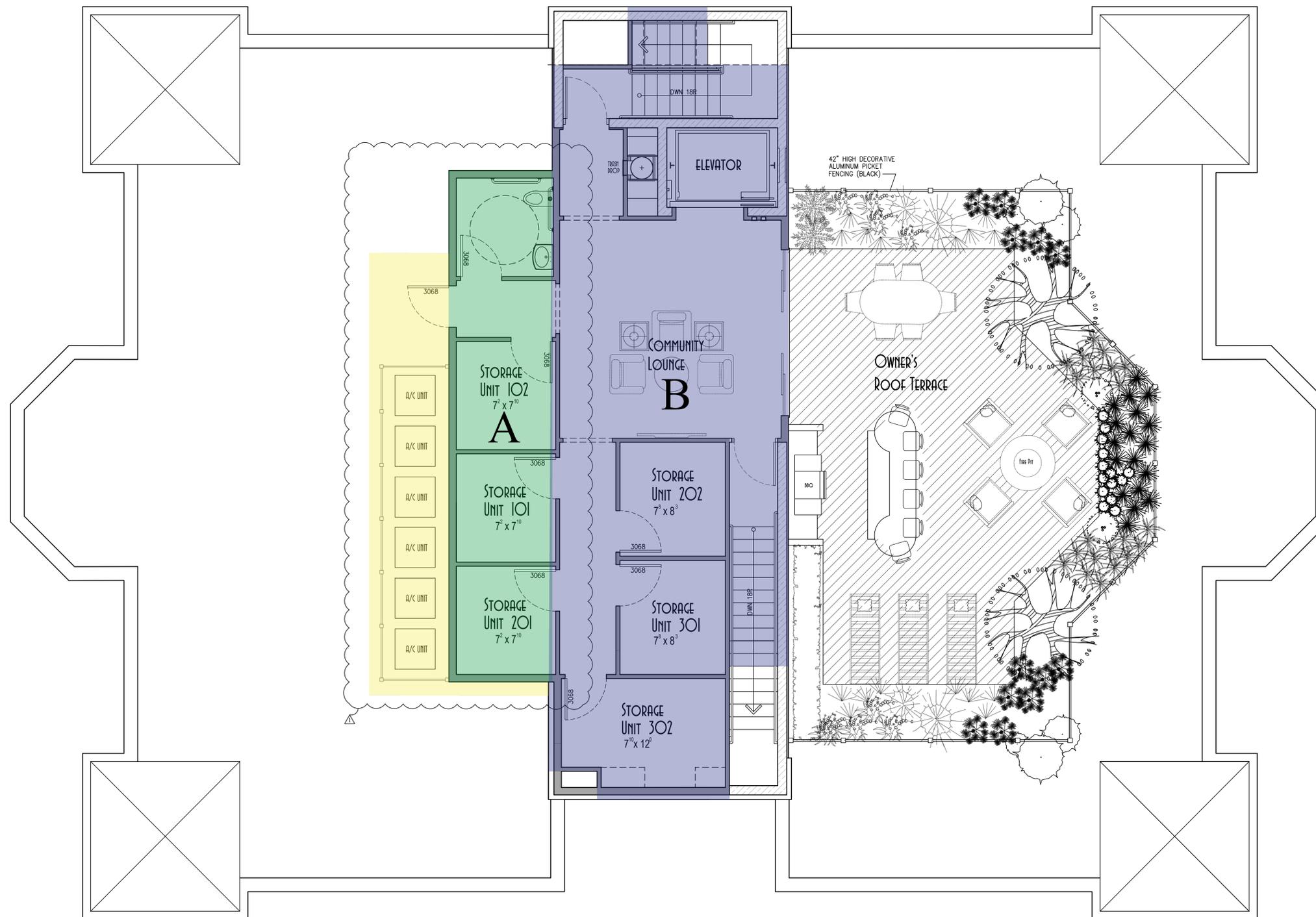
DATE	COMMENT
9/10/20	REVIS: STORAGE AREA

PLAN NO:
 1809

SHEET OF
A11.1 12

FOURTH FLOOR GFA-PROPOSED

PIECE	DIMENSIONS (FT)	GFA AREA (SF)
A	7.5 x 37.0	277.5
B	17.2X50.5	914.1
NEW TOTALS:		1,191.6
PREVIOUS TOTALS:		1,406.0
TOTAL REDUCTION		(214.4)
ROOF DECK AREA: (not counted)		575.0



GROSS FLOOR AREA FOR 4TH FLOOR

1/4" = 1'-0"

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PROFESSIONAL DESIGN FIRM #184-003936

THE WALDEN RESIDENCES
 688 GREEN BAY ROAD
 WINNETKA, ILLINOIS

R.M. SWANSON ARCHITECTS
 1930 AMBERLEY CT
 LAKE FOREST, IL 60045
 OFFICE: 847.571.3975
 rick@rmswanson.com

DESIGNED BY:
 RICHARD M. SWANSON, AIA
 JULIO A. VEGA

PREPARED BY:

DATE	COMMENT
9/10/20	REVISE STORAGE AREA

PLAN NO: 1809

SHEET **GF2** OF **2**
 Page A9

FIRST, SECOND & THIRD FLOOR GFA-PROPOSED

PIECE	DIMENSIONS (FT)	GFA AREA (SF)
A	15.3 x 55.3	846.0
B	(32.0 x 62.0) x 2	3,968.0
C	(7.2 x 17.0) x 2	244.8
D	(3.0 x 10.75) x 4	129.0
E	(12.0 x 2.0) x 4	96.0
F	17.75 x 2.0	35.5
G	(11.5 x 6.0) x 8	552.0
<small>(3rd flr not counted)</small>		
TOTALS PER FLOOR:		
1st FLOOR AREA:		5,595.3
2nd FLOOR AREA:		5,595.3
3rd FLOOR AREA:		5,319.3
ROOF FLOOR AREA:		1,191.6
GROSS BUILDING FLOOR AREA:		17,701.5



GROSS FLOOR AREA FOR 1ST THRU 3RD FLOORS

1/4" = 1'-0"

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PROFESSIONAL DESIGN FIRM #184-003936

THE WALDEN RESIDENCES
 688 GREEN BAY ROAD
 WINNETKA, ILLINOIS

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 OFFICE: 847.571.3975
 rick@rmswanson.com

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 RICHARD M. SWANSON, AIA
 JULIO A. VEGA

PREPARED BY:

DATE:	COMMENT:

PLAN NO:
1809

SHEET OF
GF1 2

Page A10



688 GREENBAY RD

698

EAST ELEVATION

1/8" = 1'-0"

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THE WALDEN RESIDENCES
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COMMENT: REVISION: STORAGE AREA

PLAN NO: 1809

SHEET **A3** OF 12

Page A11



- STANDING SEAM METAL ROOF
- 3'-0" X 7'-0" FLUSH STEEL DOOR
- COPPER GUTTERS & DOWNSPOUTS
- STUCCO
- COPPER FINIAL
- +710.13' Top of Gable
- DaVINCI SLATE ROOF
- DECORATIVE COPPER VENT
- +698.6' Top of Parapet
- COPPER GUTTERS
- FACE BRICK
- COMPOSITE WOOD RAIL & POSTS
- 2" X 6" COMPOSITE WOOD TRIM ON STUCCO
- SDL CASEMENT WINDOWS
- 3 1/2" CUT LIMESTONE SILL
- FIELD STONE

3'-0" X 7'-0" INSULATED FLUSH STEEL DOOR W/ STEEL FRAME

16'-0" X 8'-0" CARRIAGE STYLE OVERHEAD GARAGE DOOR

WEST ELEVATION

1/4" = 1'-0"

Y BAY RD

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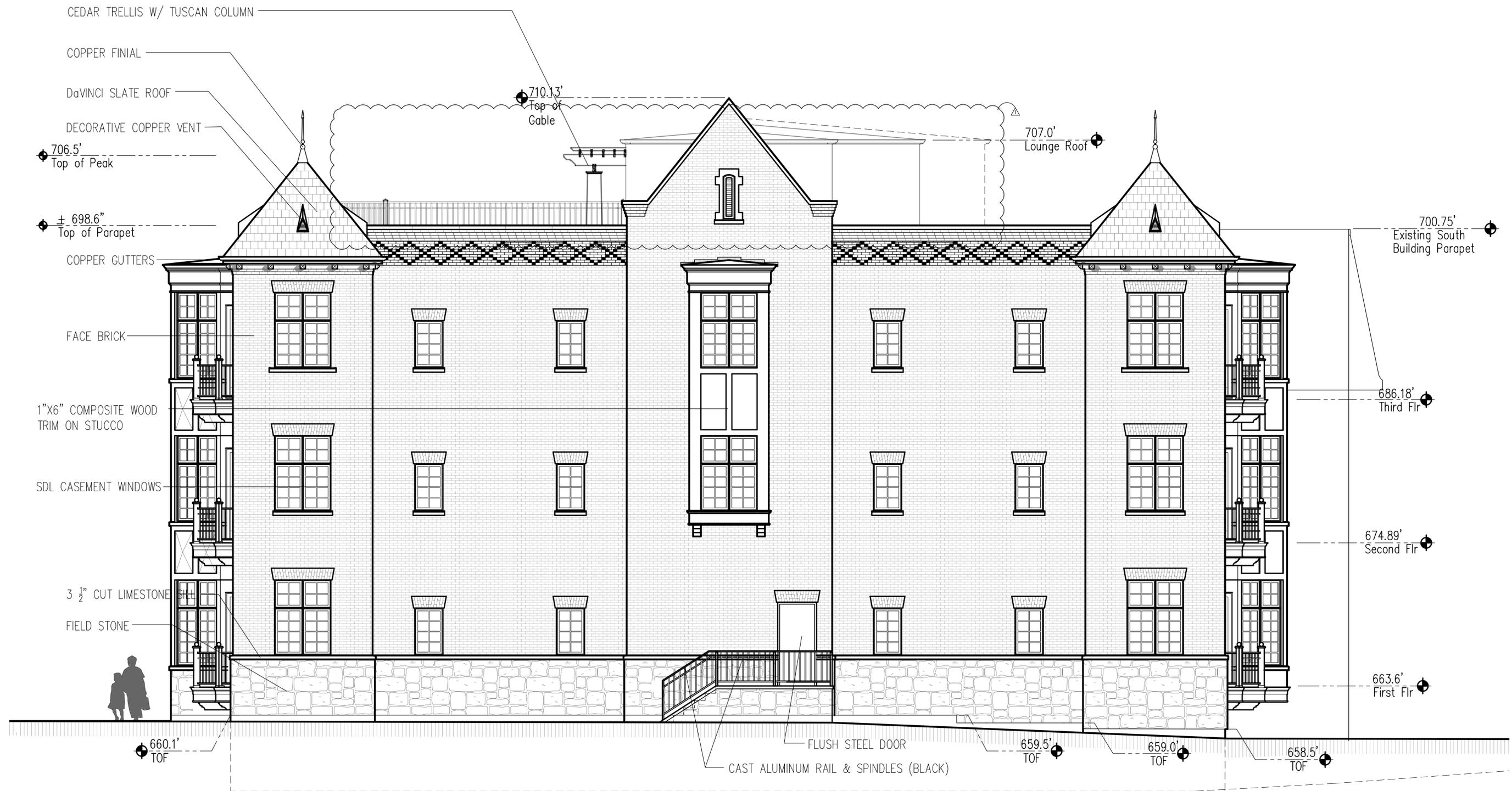
DESIGNED BY:
 RICHARD M. SWANSON, AIA
 JULIO A. VEGA

PREPARED BY:

DATE:	9/10/20
COMMENT:	REVISI: STORAGE AREA

PLAN NO: 1809

SHEET A4 OF 12



NORTH ELEVATION

1/4" = 1'-0"

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PROFESSIONAL DESIGN FIRM #184-003936

THE WALDEN RESIDENCES
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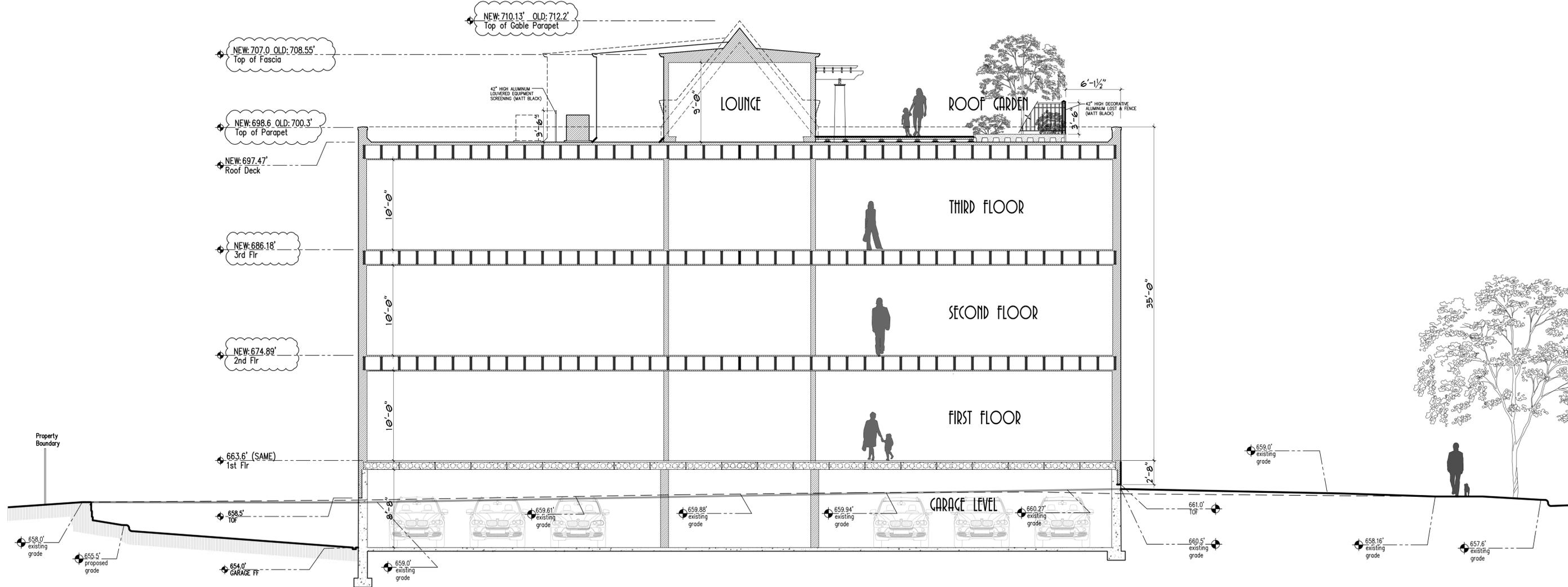
DATE: 9/10/20

COMMENT: REVISION STORAGE AREA

PLAN NO: 1809

SHEET A5 OF 12

Page A14



CROSS SECTION BUILDING & SITE
WEST TO EAST

1/8" = 1'-0"

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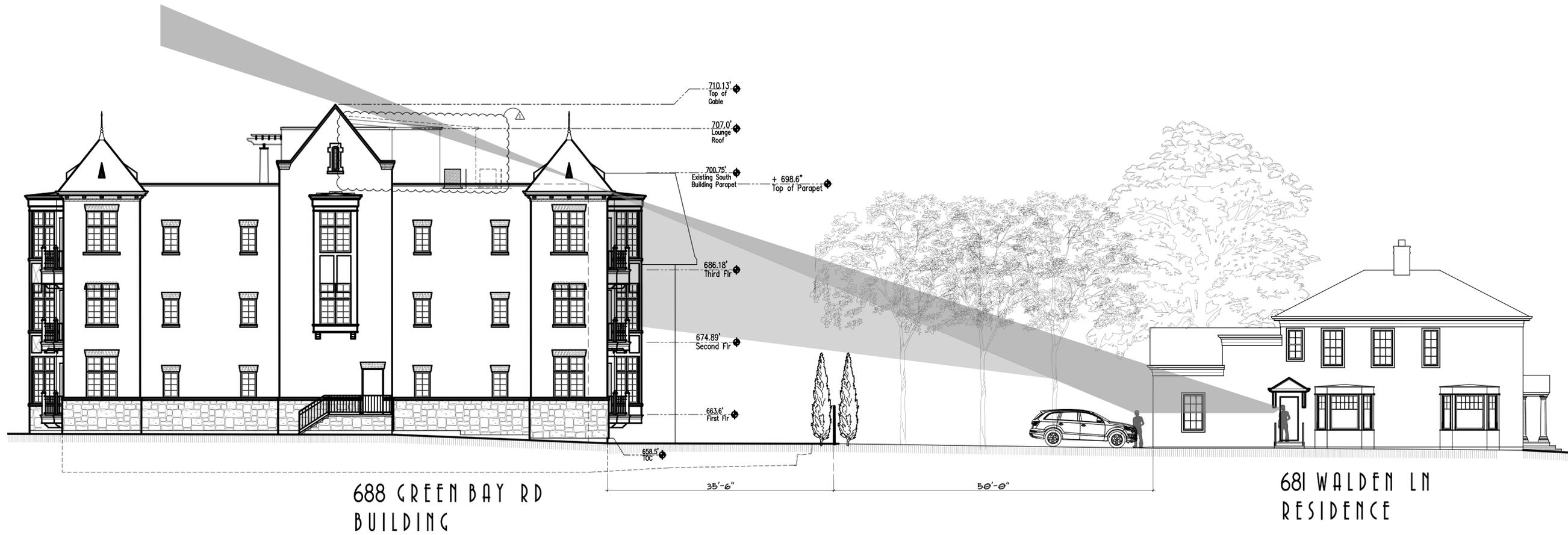
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PREPARED BY:

DATE	COMMENT
9/10/20	REVISION STORAGE AREA

PLAN NO:
1809

SHEET OF
A12 12



LINE OF SIGHT STUDY

$\frac{1}{8}'' = 1'-0''$

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DATE:	COMMENT
9/10/20	REVISION STORAGE AREA

PLAN NO: 1809

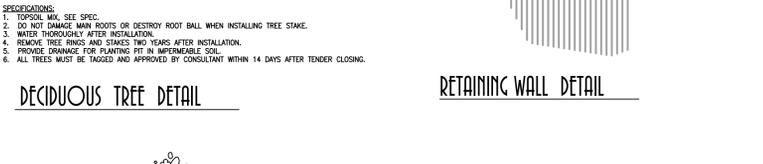
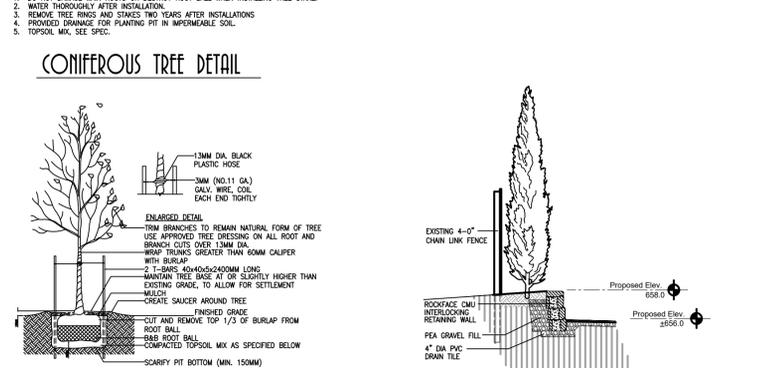
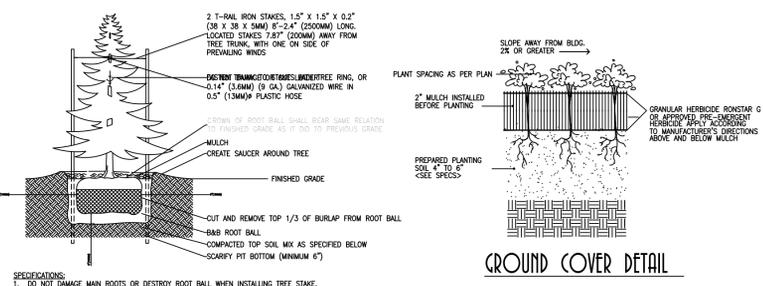
SHEET SV1 OF 1



PROPOSED CEDAR FENCE AT WEST PROPERTY LINE

Plant List						
TREES	Quantity	Size	Common Name	Botanical Name	Cond	KEY
	2	8'	Norway Spruce	Picea abies	BB	NS
	2	8'	Serviceberry	Amelanchier canadensis	BB	SB
	1	3"	Chanticleer Pear	Pyrus calleryana 'Chanticleer'	BB	CP
	6	3"	Slender Silhouette Sweetgum	Liquidambar styraciflua 'Slender Sil.'	BB	SS
	3	10'	River Birch	Betula nigra	BB	RB
SHRUBS	7	5gal	Annebella Hydrangea	Hydrangea arborescens	Can.	AH
	13	3gal	AW Spirea	Anthony Waterer Spirea	Can.	AW
	3	6'	Common Lilac	Syringa vulgaris	BB	CL
	22	24"	Bowwood	Buxus x Glencoe	Can.	BX
	2	36"	Cap Yew	Taxus cuspidata 'Capitata'	BB	CY
	18	5'	Mission Arborvitae	Thuja occidentalis	BB	AR
	22	3gal	Hino Crimson Azalea	Rhododendron 'Hino-crimson'	Can.	AZ
	28	3gal	Little Princess Spirea	Spirea japonica 'Little Princess'	Can.	SP
	25	3gal	E. Vegetus	Euonymus fortunei 'Vegetus'	Can.	EV
	10	5gal	Oakleaf Hydrangea	Hydrangea quercifolia	Can.	OH
PERENNIALS, GROUNDCOVERS and GRASSES	20	1gal.	Astilbe	Astilbe 'Rheinland'	Can.	RA
	16	1gal.	Caramel Coral Bells	Heuchera 'Caramel'	Can.	CB
	1900	3"	Japanese Spurge	Pachysandra terminalis	Flat	PY

- GENERAL NOTES:**
- APPLICANT SHALL WORK PROACTIVELY WITH THE ADJACENT NEIGHBORS TO THE SOUTH TO REPLACE EXISTING LANDSCAPE SCREENING AND TREES REMOVED ALONG THE SOUTH PROPERTY LINE THAT ARE ON THE APPLICANT'S PROPERTY. THIS MAY INCLUDE PLANTING OF SOME PLANT MATERIAL ON THE NEIGHBOR PROPERTY WITH THE FULL APPROVAL OF THE NEIGHBORING PROPERTY'S H.O.A. APPLICANT WILL WORK WITH THE SOUTH NEIGHBORS WHO ARE TO ESTABLISH A MUTUALLY ACCEPTABLE RESULT TO THE EXTENT POSSIBLE ON THE APPLICANT'S PROPERTY.
 - SNOW REMOVAL SHALL BE CONTRACTED BY THE H.O.A. WITH A LICENSED AND BONDED SNOW REMOVAL CONTRACTOR. IN ADDITION, A RADIANT SNOW MELTING SYSTEM WILL BE INSTALLED FROM THE SOUTH ENTRANCE TO THE OVERHEAD GARAGE DOORS AND PARKING AREA.



W. Damon Wilson
Registered Landscape Architect

Resource One
Landscape Architects

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PROFESSIONAL DESIGN FIRM #184-003936

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THE WALDEN RESIDENCES

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DESIGNED BY:
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PREPARED BY:

DATE:

COMMENT:

PLAN NO.: 1700

SHEET OF

Page A17



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLANNED DEVELOPMENT COMMISSION

FROM: DAVID SCHOON, DIRECTOR
ANN KLAASSEN, SENIOR PLANNER

DATE: AUGUST 27, 2020

SUBJECT: 688 & 694 GREEN BAY ROAD - THE WALDEN RESIDENCES
- PRELIMINARY PLANNED DEVELOPMENT REVIEW (CASE 2019-15-PD)

INTRODUCTION

On September 2, 2020, the Planned Development Commission is scheduled to hold a virtual public hearing, in accordance with social distancing requirements, Governor Pritzker’s Executive Orders and Senate Bill 2135, to consider an application submitted by Walden Winnetka, LLC (the “Applicant”) as contract purchaser of the property located at 688 and 694 Green Bay Road (the “Subject Property”), which is owned by CCF Winnetka, LLC (the “Owner”) to allow the construction of a new six-unit multi-family residential building with below grade structured parking on the Subject Property. The Applicant has filed an amended application (Attachment A) seeking approval of the following subdivision and zoning relief:

- A. A plat of consolidation to combine two lots into one lot of record;
- B. Preliminary planned development plan approval with the following zoning exceptions:
 - a. An exception from the maximum permitted building size (floor area ratio/gross floor area);
 - b. An exception from the maximum permitted intensity of use of lot (impermeable lot coverage);
 - c. An exception from the maximum permitted building height;
 - d. An exception from the required principal roof form;
 - e. An exception from the exterior wall articulation requirement along the north facade; and
 - f. Any other subdivision or zoning relief necessary for approval of the proposed multi-family residential building.

Details of the requested exceptions are provided later in the report.

The Design Review Board held two public meetings regarding the certificate appropriateness for the proposed development. A summary of its recommendation is provided later in this report. It should be noted that the Applicant’s application materials in Attachment A incorporates changes to address the condition that was part of the Design Review Board’s recommendation.

A sign has been posted on the Subject Property and a newspaper notice was published in the Winnetka Talk on August 13, 2020 indicating the time and date of the Planned Development Commission public hearing. A mailed notice also has been sent to property owners within 250 feet of the Subject Property. A sign notice was also posted on the property.

As of the date of this memo, the Village has received written public comments regarding the proposed project. The comments are separated into those public comments received by the Design Review Board during its review (Attachment B), and those public comments received since (Attachment C).

PLANNED DEVELOPMENT PURPOSE AND PROCESS

On April 25, 2019, the Village Council adopted amendments to the Village’s planned development regulations. Given this is the first proposed planned development to be reviewed under the new regulations, staff thought it would be helpful if we review the purpose and process for planned developments with the Commission.

Purpose. The Planned Development chapter of the Zoning Ordinance states that the purpose and intent of the planned development process is:

to make available a special use procedure that departs from the strict application of the specific zoning requirements of the district in which the development is located, in an effort to promote progressive development and redevelopment of land in the multi-family and commercial zoning districts by encouraging more creative and imaginative design for land developments than is possible under the zoning regulations that generally apply in those zoning districts.

Process. The new process consists of the following major steps:

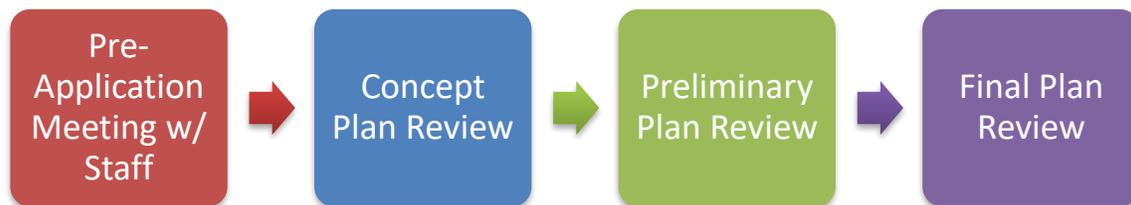


Figure 1 – Concept Plan Review

Concept Plan Review. The concept plan review step is conducted by the Village Council. The purpose of the Village Council’s review of the concept plan application is to broadly acquaint the Council with the Applicant’s proposal. This step also provides the Applicant with any preliminary concerns members of the Council may have early in the process when adjustments are still possible and prior to the Applicant expending the funds necessary to prepare the complete documentation required for a preliminary plan application. After hearing the comments and suggestions from the Village Council, the Applicant decides whether or not to proceed with the project. If they do proceed, the Applicant then must submit a preliminary planned development application with all the required documents for review and recommendation by the Planned Development Commission and the Design Review Board.

On July 16, 2019, the Village Council conducted the concept plan review of the proposed six-unit multi-family project. The current preliminary proposal is fairly similar in design as the July 16, 2019 concept plan. Copies of two images from the concept plan review are below.



Figure 2 - Concept Plan - East Building Elevation Presented to Council on July 16, 2019

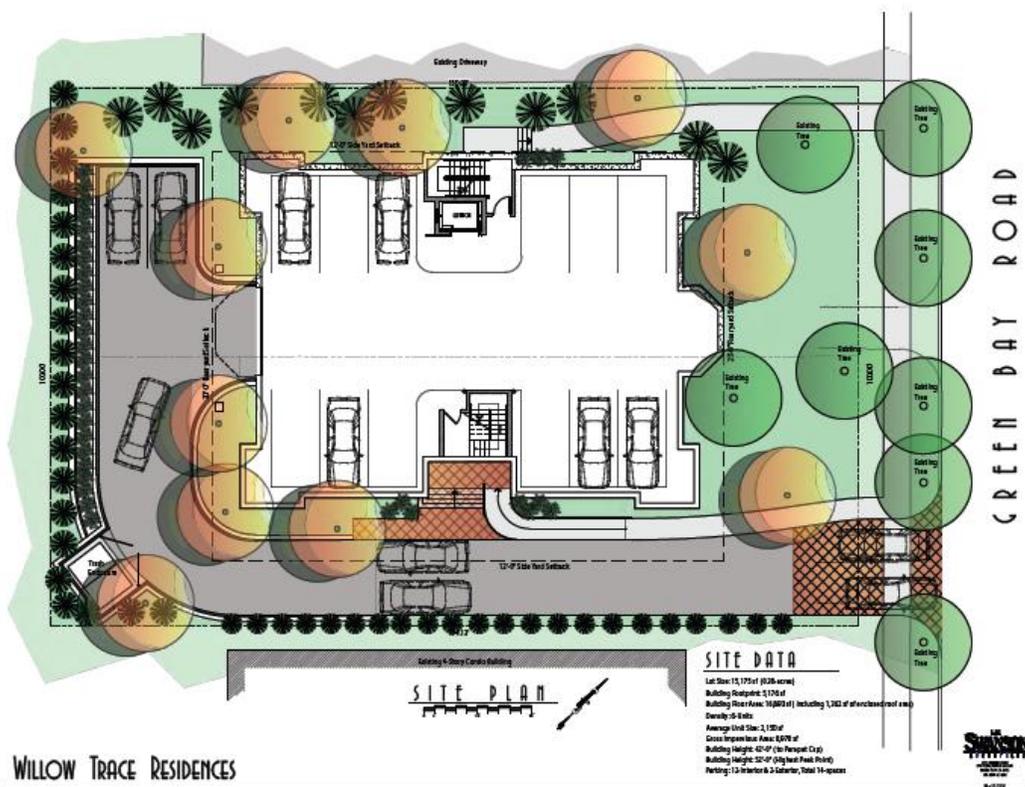


Figure 3 - Concept Plan - Site Plan Presented to Council on July 16, 2019

During the concept plan review, Council members expressed that they were generally open to the proposed development and the design of the building, but individual Council members stated that the following issues should be carefully considered during the preliminary planned development process:

- a) The impact on the homes immediately to the west of the development;
- b) The height of the building and its impact on adjacent properties;
- c) Ensure the installation of adequate stormwater control;
- d) Parking and driveway access; and
- e) Access and siting of the trash enclosure.

Council members also asked the Applicant to communicate with the neighbors to hear their concerns regarding the proposed development. A copy of the staff report for the Council’s July 16, 2019 meeting as well as copy of meeting minutes are attached as Attachment D.

Preliminary Plan Review. As previously stated, the Applicant has submitted an application for preliminary planned development approval. Preliminary plan review includes the following steps:

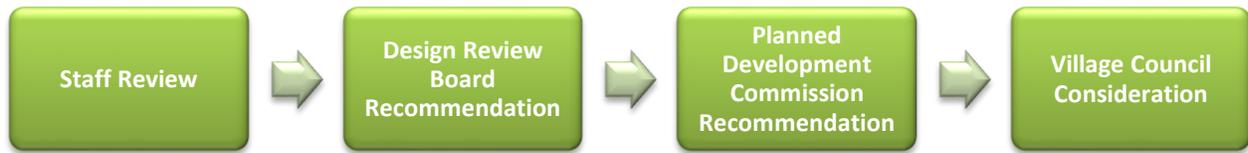


Figure 4 – Preliminary Plan Review

The Design Review Board’s role is to provide a recommendation to the Village Council regarding the design of buildings, structures, signage, and landscaping that are part of a proposed planned development in the context of the requested zoning relief.

On July 16, the Design Review Board held its first meeting to consider a certificate of appropriateness to allow the construction of the proposed six-unit multi-family building as part of a planned development. After hearing from the Applicant, several members of the public, and written comments submitted by the public, the Board asked the Applicant to explore making adjustments to the fourth story of the proposed structure to minimize the impact of the height and to provide additional perspectives of the proposed project from the north, as well as from Green Bay Road and Walden Road. The primary concern expressed by the Board was the proposed height of the building and the impact that will have on neighboring properties. In order to provide the Applicant an opportunity to respond to Board’s concerns, the DRB continued consideration of the request to its August 20 meeting.

At its August 20 meeting, after hearing from the Applicant and neighbors with concerns regarding the height and bulk of the building, screening, lighting, and noise, the Design Review Board, by a vote of 5-0, recommended approval of the proposed design subject to the Applicant reducing the height of the building by 1.7 feet. Board members found the proposed building design attractive and consistent with the Village’s design guidelines, though they had concerns about the height of the building and its impact on the immediate neighbors, in particular those to the north and west. The intent of the condition to reduce the building height was to reduce the height of the main bulk of the building, which is to the top of the parapet wall at the third story, to the maximum building height of the B-1 District - 35 feet. The 1.7-foot figure was the amount that this parapet had exceeded 35-feet. Board members discussed ideas regarding how to reduce the building height, such as reducing the 10-foot ceiling heights. In the end the Board left it to the Applicant to determine the means by which to reduce the building height.

The staff reports without attachments and minutes from the Design Review Board meetings are included in Attachment E. [It should be noted during the DRB’s discussion the measurement of 1.7 feet was often read as 1’-7”; you will note that as you read the August 20 minutes.]

As part of the preliminary plan review stage for a planned development, the Planned Development Commission’s role is to provide a recommendation to the Village Council regarding proposed subdivision and zoning relief. The following should be noted regarding the Planned Development Commission’s review:

1. A quorum of the commission consists of seven members

2. The Commission may not recommend approval of a preliminary planned development unless it has considered the application at no fewer than two public meetings.
3. The affirmative vote of five Commission members is required to make a recommendation on a planned development.

Final Plan Review. The final plan review step of the planned development process is to ensure the plan to be constructed is consistent with the approved preliminary planned development plan. Final plan review consists of the following steps:



Figure 5 – Final Plan Review

During the final plan review process, the Council *may* choose to return the final application to the Planned Development Commission and/or the Design Review Board for further consideration and recommendations to the Village Council.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.35 acres (15,000 square feet) in size, is located on the west side of Green Bay Road between Pine Street and Westmoor Road. Currently, there is a vacant single family residence on the 688 Green Bay Road parcel and the 694 Green Bay Road parcel is vacant. Figures 6 through 8 on the following pages identify the Subject Property.



Figure 6 – Subject Property (688 Green Bay Road)



Figure 7 – Subject Property (694 Green Bay Road - looking southwest from Green Bay Road)



Figure 8 – Aerial Map

Properties on the west side of Green Bay Road south of Chatfield Road and north of Pine Street are zoned for multiple-family development but currently host a mix of uses including a greenhouse/Florist, an office, single family houses and lower-density multiple-family buildings. These properties are likely to be redeveloped between the years 2000 and 2020.

The current Comprehensive Plan states the goal for the Green Bay Road Corridor is to:

Ensure a balanced and attractive pattern of land uses, development and infrastructure along Green Bay Road, the railroad facilities and adjacent residential neighborhoods running from the north to the south gateways of the Village (the "Corridor").

Relevant objectives and policies identified in the current Comprehensive Plan for the Green Bay Road Corridor include:

Provide for low-to-medium-density multiple-family townhouse and condominium developments within the Corridor as indicated on the Comprehensive Plan Map. Ensure compatibility of land uses and a smooth transition between single family residential neighborhoods and all other uses.

The current Comprehensive Plan includes the following recommendations for Multiple-Family Land Use and Development within the Green Bay Road Corridor:

- *Where existing B-1 parcels in the districts provide transitional buffers between commercial districts and single-family neighborhoods, the B-1 designation should be retained.*
- *Reduce density and add green space, providing a better balance between open space and building mass. Future redevelopment should avoid overwhelming Green Bay Road with bulky multiple-family developments and should devote more attention to landscaping.*
- *Redevelopment should be held to the design standards displayed by the rest of the community, providing a friendly street presence, so that the entire length of Green Bay Road will be visually appealing as a "Winnetka Street."*
- *Require below-grade parking facilities for new developments along the Corridor. Where surface parking lots are appropriate, assure that they are thoroughly screened with landscaping preferred to walls or fences.*

It should be noted that the Village is in the process of preparing a new/updated comprehensive plan. The consultant's scope of work identifies developing a specific plan for the Green Bay Road corridor. Due to the COVID-19 pandemic, the Village has currently paused work on the comprehensive plan update.

The Subject Property is zoned B-1 Multifamily Residential, and it is bordered by B-1 Multifamily Residential to the north, B-2 Multifamily Residential to the south, and R-3 Single Family Residential to the west (represented in Figure 10 on the following page).

Land uses along Green Bay Road to the south include three- and four-story multi-family residential structures and to the north is a two-story residential duplex building, a two-story townhouse development, and a two and ½ story multi-family building. Immediately to the west are two single family homes (see Attachment F for photographs).

The purpose section of the B-1 District states that the district is:

...to provide a buffer between commercial and detached single-family land uses, and between vehicular traffic along Green Bay Road and detached single family land uses. Consequently, the district encourages development of two-family, low-density multi-family, and where appropriate, other limited land uses which are compatible with nearby detached single-family residential neighborhoods.

The requirements of the district are:

...further intended to foster development which exhibits a single-family residential character with regard to external architectural appearance, scale, materials, roof pitch, colors, landscaping and other detailing and site improvements.



Figure 10 – Zoning Map

Given the Subject Property is on the boundary of two Comprehensive Plan land use designations, the Applicant’s proposed use of the Subject Property as a multi-family residential development is generally consistent with the Comprehensive Plan land use designation and the B-1 zoning district.

RECENT PROPERTY HISTORY

The Subject Property was the subject of a code enforcement complaint regarding the condition of the former residence located at 694 Green Bay Road dating back to 2016. The department handled the nuisance violation with the Village Prosecutor through the court system, which culminated in the demolition of the single-family residence on the 694 Green Bay Road parcel in 2018.

It should be noted that prior to the residential structure on the 688 Green Bay Road property being demolished, the Applicant will need to submit a demolition permit application to be reviewed by the Landmark Preservation Commission to determine if the house has architectural or historical significance. If so, the Commission may require the Applicant to prepare an Historic and Architectural Impact Study, and based upon the findings of that study, the Commission could order that the demolition of the home be delayed for 60 days.

PROPOSED PLAN

The proposed development of the Subject Property, referred to as The Walden residences, consists of six (6) luxury condominium flats, each measuring approximately 2,200 to 2,400 square feet, in three



Figure 12 - Current Plan - East Building Elevation

The Applicant describes the proposed architectural design of the development as English Country Manor style. As described in the attached narrative provided by the Applicant and included in this report as Attachment A, the exterior materials would include reddish/brown face brick and limestone trim with a fieldstone water table on all four elevations. The window frames would be black with simulated divided lite muntins. The units would also include private balconies that would be faced with wood trim and include black wrought iron rails, balustrades, and spindles. The pitched roof elements would be DaVinci artificial slate shingles with copper decorative finials, gutters, and downspouts.

On-site stormwater management would be provided by a stormwater system that drains all surface stormwater run-off towards an underground stormwater vault located under that development’s driveway that runs along the southerly property line. The proposed vault is sized to accommodate the increased amount of runoff which would result from the more intensive development compared to existing conditions. The stormwater within the vault would then drain into a stormwater main under Green Bay Road, with the rate of release into the storm sewer controlled by a restrictor valve in order to assure the development does not present an increased flow into the Village’s storm sewer system. The Village Engineering staff has reviewed the stormwater plan for the development and has determined that the plan would comply with the Village’s requirements. The Village Engineering staff also noted that given Green Bay Road is a State highway, the Applicant will need to secure Illinois Department of Transportation approval to tie its proposed stormwater system to the main in the Green Bay Road right-of-way.

VILLAGE STAFF REVIEW

Staff has reviewed the proposed preliminary plan and has determined that the application is ready for consideration by the advisory bodies and the Village Council. Given that this is preliminary plan approval, staff has identified technical issues which the applicant will need to address at time of final plan approval or building permit approval.

SUBDIVISION & ZONING RELIEF

As previously stated, the property is zoned B-1 Multi-Family Residential District, which allows multiple-family dwelling units within a structure. The following table summarizes the requirements of the district for the Subject Property, the dimensions for the proposed development, and any required zoning variations.

Standard	B1 District Permitted/ Required	Proposed Development	Required Variation
Maximum Height	35 feet 2 ½ stories	46.5 feet 4 stories	11.5 ft, a 32.86% increase
Maximum Units Per Acre 18 units per acre, except if lot is over 14,520 sf and has average lot width of 120 ft or more, than 24 units per acre	6 dwelling units	6 units	
Minimum Average Lot Width	60 feet	100 feet	
Maximum Floor Area Ratio (80%)	12,000 sf	17,915.9 sf	5,915.9 sf, a 49.30% increase
Maximum Building Coverage (40%)	6,000 sf	5,595.3 sf	
Maximum Impermeable Lot Area (60%)	9,000 sf	11,168.7 sf	2,168,6 sf, a 24.1% increase
Minimum Front Yard Setback	25 feet	25 feet	
Minimum Side Yard	12 feet	12 feet	
Minimum Rear Yard (adjacent to SFR)	30 feet	30 feet	
Exterior Walls (articulation)	Minimum 4-foot articulation @ 50 feet of wall length.	Provided by all walls except north wall is articulated by 2 feet.	North wall articulation is not 4 feet.
Principal roof form	Minimum 35 degrees, Maximum 60 degrees	Flat	The structure contains a roof that is predominately flat.
Minimum # of Parking Spaces 2 ¼ spaces per dwelling unit total, including ¼ for guests	14 spaces, including 2 guest spaces	14 spaces, including 2 guest spaces	
1 enclosed space per dwelling unit	6 spaces	12 spaces	
Parking Setbacks	Minimum 5' from any non-front lot line	+5 feet	
	Not permitted within required front yard	None proposed	

NOTES: Cornices, sills, belt course, eaves, gutters, downspouts, and ornamental features limited to 18" encroachment in each required yard.

Given that the Subject Property has B-1 zoning to the north and B-2 zoning to the south, it would be beneficial to note the similarities and differences between the two zoning districts. Today, the two districts have nearly the same zoning requirements, except for the following:

- B-2 District's maximum units per acre is 30 units.
- B-2 District does not have a minimum average lot width requirement.
- B-2 District does not have maximum building coverage standard.
- B-2 District has neither an exterior wall articulation requirement nor a principal roof form requirement.

It should be noted that in 1998, the Village Council adopted Ordinance MC-202-98. As part of work on the Comprehensive Plan, Thompson Dyke & Associates completed an analysis of zoning regulations in B-1 and B-2 districts (*just prior to this, the Council also amended the C-1 and C-2 commercial zoning districts in a similar fashion to what is outlined below*). Recommendations included in the Thompson Dyke report that were incorporated in MC-202-98 include following zoning code amendments:

a) **B-1 District** amendments:

- i) Eliminated single family dwellings as a permitted use;
- ii) Reduced height from 35' (number of stories not limited, but presumably up to 4 stories), to 35' and 2 ½ stories;
- iii) Increased side yard from 6 feet to 12 feet;
- iv) Increased rear yard from 15 feet to 20 feet;
- v) Increased rear yard requirement when abutting single family residential from 15 feet to 30 feet;
- vi) Increased parking requirement from 1 ½ spaces per dwelling unit to 2 ¼ per dwelling unit;
- vii) Imposed new floor area ratio of .80

b) **B-2 District** amendments:

- i) Reduced height from 42' and 4 stories, to 35' and 2 ½ stories
- ii) Reduced allowable density from 36 units/acre to 30 units/acre
- iii) Increased side yard setback from 6' to 12'
- iv) Increased rear yard requirement when abutting single family residential from 15 feet to 30 feet;
- v) Increased parking requirement from 1 ½ spaces per dwelling unit to 2 ¼ per dwelling unit;
- vi) Imposed new floor area ratio of .80

The above amendments were made at the time in response to concerns regarding the construction of larger multi-family buildings in the community. These amendments also made many existing multi-family buildings legal non-conforming structures, including the 680 Green Bay Road and Winnetka Mews Condominiums.

The following is a summary of the requested subdivision and zoning relief.

Plat of Consolidation. As previously described, the Subject Property consists of two parcels. In order to construct the proposed project on the site, the two lots must be combined into one lot of record. Included in Attachment A is a copy of the plat of consolidation, which meets the lot requirements of the Zoning Code and the requirements of the Subdivision Regulations.

Planned Development.

Given that the Subject Property is over 10,000 square feet in lot area, the proposed redevelopment of the site requires planned development approval. The Planned Development chapter of the Zoning Ordinance states that the purpose and intent of the planned development process is:

to make available a special use procedure that departs from the strict application of the specific zoning requirements of the district in which the development is located, in an effort to promote progressive development and redevelopment of land in the multi-family and commercial zoning districts by encouraging more creative and imaginative design for land developments than is possible under the zoning regulations that generally apply in those zoning districts.

As part of the planned development process, the Applicant also has the ability to request approval of exceptions to specific zoning standards. The Applicant requests approval of the following zoning exceptions associated with its proposed multi-family building on the Subject Property:

- A. Maximum Building Size Variation – The consolidated lot area of 15,000 square feet allows a maximum gross floor area (GFA) of 12,000 square feet (or what is also called a maximum floor area ratio of 0.80). As proposed, the building consists of approximately 17,915.9 square feet of gross floor area, requiring a variation of 5,915.9 square feet (49.30%).
- B. Maximum Building Height Variation – The Zoning Code measures the height of a building from the top of the finished first floor to the highest point of the building. In the B-1 District, the maximum permitted building height is 35 feet and 2 ½ stories. The proposed building height as revised since the Design Review Board recommendation is now 46.5 feet and four (4) stories. The dimension of 46.5 feet is measured from the first floor to the highest point of the decorative gable at the center of the building. The height to the top of the flat roof of the enclosed storage and lounge area on the fourth floor is now 43.4 feet. The proposed design also includes four corner tower roof elements that would be 42.9 feet in height with a parapet between the four corners that would be 35.0 feet in height. It is relevant to note that the proposed units include 10-foot ceiling heights for each floor level, which according to the Applicant is a standard design requirement for north shore residences in this market.
- C. Impermeable Lot Coverage – The proposed impermeable lot coverage (ILC) (building footprint and paved surfaces) is 11,168.7 square feet, whereas a maximum ILC of 9,000 square feet is allowed. The proposed ILC exceeds the amount allowed by 2,168.7 square feet, or 24.1%. It should be noted whatever amount of impermeable lot coverage is provided; the applicant will be required to provide the stormwater detention to accommodate that impermeable surface per the Village stormwater management requirements.
- D. Principal Roof Form Variation – The proposed design incorporates pitched roof gables at the four corners of the building as well as the center, however, the primary roof design is that of a flat roof. The Zoning Ordinance prohibits flat roofs, shed roofs, mansard roofs, butterfly roofs, domed roofs, and the like.
- E. Façade Articulation Variation - The façade articulation requirement is intended to assure that the apparent scale of the building is compatible with the scale of near-by single family development by requiring no exterior wall be unarticulated for a distance greater than 50 feet. The Zoning Ordinance requires the separation distance in the plane of the walls be at least four (4) feet. The north wall of the proposed building does not comply with this requirement as the proposed separation distance in the plane of the walls is only two feet.

The proposed development meets all other zoning requirements (e.g. building coverage, yard setbacks, off-street parking space requirements, etc.)

The following table compares the Applicant’s proposed project, The Walden, with the two multi-family

developments to the south, the townhomes immediately to the north, The Winngate development further to the north, and the Westmoor Commons townhomes on the corner of Westmoor and Green Bay. This table is provided to help provide the Commission with perspective in terms of the proposed development compared to existing development, as well as how the developments compare to the **existing zoning requirements** for their respective districts. As previously noted, many of these buildings are legal non-conforming structures due to amendments to the B-1 and B-2 zoning requirements.

BUILDING/ADDRESS (Year Constructed)	ZONING DISTRICT	GFA (Maximum 80% of Lot Area)	ILC (Maximum 60% of Lot Area)	HEIGHT (Maximum 2 ½ Stories, 35 ft)	REAR YARD SETBACK (Min 30 feet)
The Winnetka Mews NWC Green Bay & Pine (1971)	B-2	134,064 sf (118% over)	67,739 sf (46.65% over)	4-stories 35.91 ft (east elevation first floor to top of parapet) 46 ft (west elevation ground floor to top of parapet) (0.91 ft/11 ft over)	39.82 ft (Complies)
The Winngate 720 Green Bay (2007)	B-1	25,650 sf (Complies)	19,080 sf (Complies)	2½-stories 37.25 ft (2.25 ft over)	32.61 ft (Complies)
680 Green Bay (1974)	B-2	69,736 sf (160% over)	21,583 sf (7.31% over)	4-stories 38.23 ft (3.23 ft over)	23.89 ft (6.11 ft short)
The Walden 688-94 Green Bay (2020)	B-1	17,915.9 sf (49.3% over)	11,168.7 sf (24.1% over)	4-stories 46.5 ft	30 ft (Complies)
696-698 Green Bay (1992)	B-1	Not available	4,427.33 sf Complies	2½-stories 34'-6" ft	14.95 (15.05 ft short)
Westmoor Commons 932-936 Westmoor (2008)	B-1	7,532 sf Complies	5,647 sf Complies	2½-stories 34.08 ft	30.01 ft (Complies)

Data Source: (A) architectural plans, (B) GIS map, (C) plat of survey, (D) zoning analysis/calculations, (E) floor elevation survey

PLANNED DEVELOPMENT STANDARDS, EXCEPTIONS STANDARDS, AND COMPENSATING BENEFITS

When considering a planned development, the Commission is to consider the standards for approving a planned development and the standards for granting exceptions associated with a planned development.

No special use permit for a planned development shall be recommended by the Planned Development Commission or approved by the Village Council unless it is found that:

1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;

3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;
4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.

In addition to the general standards for considering a planned development, the following standards shall be considered in reviewing any request for exceptions to the subdivision or underlying zoning district use, lot, space, bulk, yard, and parking regulations, as each standard may be applicable:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.

Section 17.58.120.B talks about public benefits in terms of a compensating benefit, the purpose of which is to advance the Village's physical, cultural, environmental and social objectives in accordance with the Comprehensive Plan and other plans and policies. The Code section provides a non-exclusive list of potential compensating benefits that may include:

1. The provision of community amenities for public use, such as plazas, malls, formal gardens, places to congregate, outdoor seating, and pedestrian facilities;
2. The preservation of existing historic features;
3. The dedication and provision of public open space and public recreational amenities, such as recreational open space, including accessory buildings, jogging trails, playgrounds, and similar recreational facilities;

4. The adaptive reuse of existing buildings;
5. The provision of public car and/or bike share facilities;
6. The provision of off-street public parking spaces;
7. The provision of affordable housing units;
8. The incorporation of building and site elements that enhance the environment and increase sustainability; and
9. The provision of uses, spaces, or infrastructure that provide a benefit to the public and which there is a demonstrated public need.

In support of its request, the Applicant has provided the attached application materials which include a narrative addressing the standards and compensating benefits. The Applicant has identified the compensating benefits as providing an architectural design that is consistent with the aesthetic character and providing a much needed housing type for the community. In addition, the Applicant has provided the following studies and reports to support its application:

- a. Market Feasibility Report
- b. Village Services Report
- c. Traffic & Parking Evaluation
- d. Building Shadow Study

Based upon the written application materials submitted by the Applicant, the information the Applicant presents during the public hearing, and the comments provided by the public, the Commission will need to determine if the proposed development conforms with the standards for approving a planned development and the requested zoning exceptions.

RECOMMENDATION

At the September 2, 2020 Planned Development Commission meeting, the Commission is scheduled to consider the Applicant's proposed planned development and associated exceptions as well as the plat of consolidation.

After hearing from the Applicant and the public, the Commission may decide to take action on one of three options:

- 1) Continue the public hearing to a specific date to provide the Applicant and/or staff additional time to address questions and comments from the Commission.
- 2) Continue the public hearing to a specific date for consideration of a resolution recommending approval of the planned development and associated exceptions. As previously noted, the Commission may not recommend approval of a preliminary planned development unless it has considered the application at no fewer than two public meetings. A copy of such a motion is provided for future reference.
- 3) Consider a motion recommending denial of the planned development and associated exceptions. (A copy of such a motion is provided on the following page).

Staff and the Applicant will be present at the September 2 meeting to present a summary of the application and to answer any questions.

ATTACHMENTS

Attachment A: Application Materials

~~Attachment B: Public Comments Presented to the Design Review Board~~

~~Attachment C: Public Comments Received Since the August 20, 2020 Design Review Board Meeting~~

~~Attachment D: July 16, 2019 Village Council Review of Concept Plan - Staff Report & Meeting Minutes~~

~~Attachment E: July 16, 2020, and August 20, 2020 Design Review Board Review of Preliminary Plan - Staff Report and Meeting Minutes.~~

~~Attachment F: Photographs of Area Properties~~

Recommendation of Approval [Only provided for information; must wait until subsequent meeting to adopt.]

The Planned Development Commission **recommends approval** of the preliminary plan for The Walden Planned Development to be located at 688-694 Green Bay Road, and it adopts the following findings of fact:

- A. The Walden Planned Development *is in conformity* with the standards set forth in Section 17.58.110 of the Zoning Ordinance:
 1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
 2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;
 3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;
 4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
 5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
 6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
 7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.

- B. The following zoning exceptions that are part of The Walden Planned Development:
 1. Gross Floor Area (GFA) of 17,915.9 square feet, whereas a maximum of 12,000 square feet (an 80% Floor Area Ratio) is permitted, a variation of 5,915.9 square feet (a 49.30% increase) [Section 17.32.010T – Maximum Building Size];
 2. Impermeable Lot Coverage of 11,168.7 square feet, whereas a maximum of 9,000 square feet is permitted, a variation of 2,168 square feet (a 24.1% increase) [Section 17.32.010F – Intensity of Use of Lot];
 3. Building height of 46.5 feet and 4 stories, whereas a maximum of 35 feet and 2 ½ stories is permitted, a variation of 11.5 feet (a 32.86% increase) [Section 17.32.010C – Height];
 4. Exterior Wall Articulation of only two feet for the difference in the plane of walls along the north building wall, whereas a minimum of four feet is required. [Section 17.32.010M – Exterior Walls];
 5. Principal Roof Form consisting of predominately a flat roof, whereas the roof pitch between the eave and ridge lines shall not be less than 35 degrees and not more than 60 degrees [Section 17.32.010(O) – Principal Roof Form]

are in conformity with the standards set forth in Section 17.58.120 of the Zoning Ordinance:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
 2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
 3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
 4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
 5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.
- C. The requested Plat of Consolidation of the Subject Property to create one lot out of two existing lots, ***does meet*** the standards set forth in Section 16.12.010 of the Subdivision Code.
- D. ***[The Planned Development Commission finds the inclusion of the following additional conditions is warranted in order to adopt a recommendation of approval.]***

1.

2.

]

Recommendation of Denial

The Planned Development Commission **recommends denial** of the preliminary plan for The Walden Planned Development to be located at 688-694 Green Bay Road, and it adopts the following findings of fact:

- A. The Walden Planned Development ***is not in conformity*** with the standards set forth in Section 17.58.110 of the Zoning Ordinance, which are set forth below:
 1. That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;
 2. That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;
 3. That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity;
 4. That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
 5. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;
 6. That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided; and
 7. That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.
- B. The following zoning exceptions that are part of The Walden Planned Development:
 1. Gross Floor Area (GFA) of 17,915.9 square feet, whereas a maximum of 12,000 square feet (an 80% Floor Area Ratio) is permitted, a variation of 5,915.9 square feet (a 49.30% increase) [Section 17.32.010T – Maximum Building Size];
 2. Impermeable Lot Coverage of 11,168.7 square feet, whereas a maximum of 9,000 square feet is permitted, a variation of 2,168 square feet (a 24.1% increase) [Section 17.32.010F – Intensity of Use of Lot];
 3. Building height of 46.5 feet and 4 stories, whereas a maximum of 35 feet and 2 ½ stories is permitted, a variation of 11.5 feet (a 32.86% increase) [Section 17.32.010C – Height];
 4. Exterior Wall Articulation of only two feet for the difference in the plane of walls along the north building wall, whereas a minimum of four feet is required. [Section 17.32.010M – Exterior Walls];
 5. Principal Roof Form consisting of predominately a flat roof, whereas the roof pitch between the eave and ridge lines shall not be less than 35 degrees and not more than 60 degrees [Section 17.32.010(O) – Principal Roof Form]

are not in conformity with the standards set forth in Section 17.58.120 of the Zoning Ordinance, which are set forth below:

1. The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;
 2. The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;
 3. The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;
 4. The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood; and
 5. The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.
- C. The requested Plat of Consolidation of the Subject Property to create one lot out of two existing lots, **does not meet** the standards set forth in Section 16.12.010 of the Subdivision Code.

[Note: If the Planned Development Commission elects to recommend denial, a motion should be made and seconded to recommend denial. Following such a motion, and prior to voting on the motion, Commission members may wish to identify those standards which they find the project to be inconsistent.]

August 24, 2020

Mathew Bradley
Chairman of the
Planned Development Commission
510 Green Bay Rd.
Winnetka, IL 60093

Re: 688 & 694 Green Bay Rd.

Members of the Planned Development Commission,

I am pleased to report that we received unanimous approval on 8-20-20 from the Design Review Board of our proposed Walden project at 688 & 694 Green Bay Rd. We are now prepared to move onto the Planned Development Commission phase September 2nd. The DRB's recommendation included key design related elements that were relevant to their review process and will be addressed in more detail within this memo. We understand and respect that the PDC will have the purview to consider all of the exceptions provided in this petition regardless of DRB findings and we are prepared to respond accordingly.

The properties are currently zoned B-1 Multi-family and will be consolidated as one lot under this zoning designation. We have reviewed the regulations for this zoning district and will be in compliance with all requirements except five, which we intend to seek zoning relief through the Village's PUD process. There were two existing single-family residences on the respective parcels. One of the two has been demolished and the other to be demolished as a condition of our approval process.

The proposed building will be comprised of 4-2,180 sf and 2-2,404 sf for a total of 6-luxury flats in 3-stories with 12-below ground parking spaces and a fourth story for owner storage space and common area indoor lounge (1,406 sf). The fourth story will also include a 575 sf roof deck and 348 sf roof garden. Two guest parking spaces will be provided in the rear including one handicap space with additional street parking available on Green Bay Rd. A Traffic and Parking Memo has been prepared confirming adequate access and sufficient parking to meet demand. Ceiling heights will be 10'-0" for each floor to meet consumer demand and provide a more historically correct placement of fenestration to the exterior of the building. The proposed building is within all required setbacks and not impacted by underlying easements and or title restrictions. Some existing trees will be removed, many of

which are in poor condition or invasive species. Nevertheless, we intend to comply with the Village's Tree Ordinance and plant new healthy trees as approved by the village forester.

The proposed architectural design vernacular embraces the English Country Manor style, which is consistent with the Village's aesthetic character and established Design Guidelines. Exterior materials will include reddish/brown face brick with limestone trim and fieldstone water table on all four elevations. The window frames will be black with simulated divided lite muntins and private balconies will be faced with wood trim and include black wrought iron rails, balustrades and spindles. The pitched roof elements will be Da Vinci artificial slate shingles with copper decorative finials, gutters and downspouts.

We will be humbly seeking zoning relief for the following:

Plat of Consolidation: The existing site is comprised of two (2) residential lots and we intend to consolidate these into one lot as a condition of this approval. This is more an academic procedure to accommodate the proposed use, if approved.

Maximum Floor Area Ratio: Since appearing before the Village Council in July of 2019, we have had the opportunity to revisit our proposed design and make adjustments that significantly reduce the amount of gross floor area as defined by Village Ordinance.

The current B-1 zoning designation allows a maximum floor area (FAR) of 80% of the gross lot area. For this site, we have 15,000 sf of lot area, which would provide 12,000 sf of allowable floor area. The total proposed gross area of floor 1 thru 3 is 15,957.9 sf not including the first 2-stories of balconies, which total 552 sf. The gross floor area of the proposed storage and lounge on the 4th floor is 1,406 sf. The gross area (5,190 sf) of the underground Garage has now been eliminated by way of lowering the height of the first floor to less than 3'-0" above proposed grade.

The resulting total gross area of the proposed building is 17,915.9 sf including 1st thru 4th floor and open balconies. This will require a variation of 5,915.9 sf (49% increase), which is a significant reduction from the initial assumption of 10,817 sf (91% increase). A more detailed exhibit is provided in the Gross Floor Area Matrix attached to this application but is summarized as follows:

a. First, Second & Third Floors:	15,957.9 sf
b. Fourth Floor (Storage & Lounge):	1,406.0 sf
c. <u>Balconies:</u>	<u>552.0sf</u>
Gross Floor Area:	17,915.9 sf

One of the concerns raised by adjacent property owners is the significant increase of floor area over the current zoning ordinance and danger of setting precedent for future projects. The point of a PUD process is to allow some relief to avoid restraint of creative alternatives that could offer a better result. For infill parcels, that includes

addressing how that relief relates to and or impacts, existing structures. By way of example, the existing building directly to our south is approximately 68,500 sf of floor area on a 32,250 sf lot. Under B-2 zoning, the building is allowed 25,800 sf of floor area, which 166% increase over the ordinance. In addition, the building is 5'-8" from our shared lot boundary, which an encroachment into the 12'-0" side yard setback of 6'-4". The point is that precedent was set long ago by a much greater margin than we are currently proposing. The point of the PUD process is to make available a special use procedure that departs from the strict application of the specific zoning requirements of the district in which the development is located, in an effort to promote progressive development and redevelopment of land in the multi-family and commercial zoning districts by encouraging more creative and imaginative design for land developments than is possible under the zoning regulations that generally apply in those zoning districts.

Maximum Building Height: The current maximum allowable building height for this zoning classification is 35'-0", which is measured from the first-floor elevation to the highest point of the proposed structure. Our plan proposes a 46'-6" (previously 48'-6") height from the first-floor elevation to the peak of the highest gable elements located at the midsection of the north and south facades. The corner tower roof elements will be 42'-11" (previously 44'-2") to the peaks. The parapet will now be 35'-0" using the same method of measurement. That portion of the roof mass measuring 46'-6" is a decorative gable; intentionally located in the center of the building to screen from the east and west view perspectives. As a result, the streetscape mass that will be visible is dominated by the wall parapet and framed on each corner by the 5'-2" tall, pitched roof elements. Note that we are also proposing 10'-0" ceiling heights for each of the floors, which is a standard design requirement for north shore residences in this market.

Please note that a condition of the recent Design Review Boards endorsement was that we lower the parapet height by 1.7'. We have done so with a combination of floor joist depth modification and the parapet height at the roof elevation. It was discussed and agreed that the design elements provided a more aesthetically pleasing result without contributing an imposing mass. It should also be noted that these peaked roof elements lowered in height congruently with the floor reductions. The result of this modification is 35'-0" parapet wall elevation from the first floor.

Principal Roof Form: Village code also provides that principal roof forms have connection between the eaves. We attempted to creatively utilize this mass by discreetly placing this more vertical elements away from the street view and providing logical purpose by way of storage and roof access. We have carefully reviewed the Village's Design Guidelines to better understand and embrace the aesthetic character of the community as it relates to this site. Our objective has been to create the most attractive result using the very best materials in a historically appropriate context. Like many properties in Winnetka, this is an infill site and therefore, will need to fit contextually into

the existing environment. We make no pretext about the fact that this is a multi-family project and have attempted to provide all the elements that meet the high standards and expectations of sophisticated buyers. It should also be noted that our buyer demographic was expected to be and has been primarily existing Winnetka residents. The one comment we get routinely is how much this design “looks like Winnetka”. While from a technical perspective the primary roof form is a flat roof, we have attempted to incorporate design elements that respect the existing mass and scale of existing structures and fit harmoniously into the neighboring streetscape. The primary design vernacular along Green Bay Road could be best described as traditional European influence, which is consistent with our intent. Lastly, more than half of the proposed flat roof area will be used as a roof garden as a respite for residents and socialization. None of the areas defined as flat will be seen from and public perspective.

Please note that the Design Review Board considered this issue and the general consensus was that the forcing a pitched roof into this design would serve more to increase mass and provide any aesthetic benefit.

Façade Articulation: This issue was raised in the July 9, 2019 in the Staff Memorandum to the Village Council. We have more carefully reviewed the specific language and made adjustments to the design to better adhere to this condition. However, the proposed north facing façade will now be the only exterior elevation requiring zoning relief. Although this elevation provides articulation well within the required 50’-0” distance limitation, the proposed plane distance will be 2’-0” as opposed to the 4’-0” minimum suggested in the ordinance. We believe this is also more of an aesthetic as opposed to a technical issue and strict compliance with this requirement will provide no meaningful benefit as it relates to this proposed project. Please note that the Design Review Board considered this issue and agreed that the adding 2’-0” to this one appendage would serve no purpose.

Impermeable Surface: The Village’s Lot Coverage ordinance provides a maximum lot coverage of 60% of the total lot area. Our property is 15,000 sf, which would allow 9,000 sf of impermeable surface area. Our initial review submittal did meet that requirement and we designed a proposed sidewalk with a permeable surface material to meet this standard. After completion of the first staff review of our petition packet, we were directed to widen the driveway by the village fire marshal to provide sufficient access for emergency vehicles. Although we reduced other areas to supplement this increase the result was still a total impervious surface area of 11,168.7, which is 2,168.7 (24% over) the allowable. It should be noted that we could easily meet this standard if the Garage entrance were moved to the east side of the building. However, this presents a less efficient means of access for residents and emergency vehicles. In addition, the placement of overhead garage doors to Green Bay Road would present a visually less pleasing alternative.

We have also given thought to the compensating benefits our project will provide to the community. First, our proposed building will offer significant improvement to the Green Bay Road streetscape by removing unsightly structures and further enhancing the gateway to Winnetka from the north. This will include architecture that is consistent with the aesthetic character of the community with significantly safer access to the site. In addition, we will be installing noninvasive plant material that will enhance the pedestrian experience and provide appropriate landscape screening for our adjacent neighbors. All site improvements will be privately owned and not require dedication and or perpetual maintenance to the Village. Finally, the proposed project will provide a much needed housing stock for the community and significantly enhance property values in the neighborhood.

We appreciate this opportunity to present our project to the Planned Development Board and look forward to discussing this in more detail with you on September 2nd.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line ending in an arrowhead pointing to the right.

Rick Swanson AIA, NCARB
Managing Member

February 20, 2020

David Schoon
Community Development
Planning Division
Village of Winnetka
510 Green Bay Rd.
Winnetka, IL 60093

Re: 688 Green Bay Rd.

Mr. Schoon,

As a condition of our formal submittal for consideration of our proposed Walden project at 688 Green Bay Rd, we are required to address each of the findings on standards and exceptions provided in Chapter 17.58 of the Village's Zoning Code.

We have responded to Standards as follows:

Standards:

1. *That the proposed development and the use or combination of uses furthers the goals and objectives of the Comprehensive Plan;* The Village's Comprehensive Plan is an ever evolving guide for future development that preserves the physical character of the community. The subject property is zoned for the proposed use and consistent with the most current Comp Plan Amendment. In addition, the proposed building is intentionally designed to embrace and respect the historic character of Winnetka as outlined in the Design Guidelines adopted in 2001

2. *That the establishment, maintenance and operation of the planned development will not be detrimental to or endanger the public health, safety, health, comfort, morals or general welfare, or have a negative environmental impact on the neighborhood or Village;* The 2-existing properties have been a source of concern for the Village for many years. This included a dilapidated residence that had become a hazardous situation for the neighborhood. That structure was demolished, and the remaining building will be removed as a condition of our approval. The proposed building will be designed and constructed to current Village code and meet all the design standards for life safety. We have also designed our stormwater control to significantly reduce the amount of current runoff from the property, which was one of the primary concerns expressed by our neighbors when we met several months ago.

3. *That the planned development will not unreasonably impede the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor unreasonably diminish or impair property values in the immediate vicinity.* We propose a significant improvement to the combined properties by way of appropriate design, implementation of modern technology and quality materials. The proposed homes will be marketed for values equal to and in excess of existing properties in the neighborhood, which

historically has been a benefit to adjacent properties. Moreover, the improvement of this property will control and significantly decrease stormwater run-off to adjacent properties.

4. *That the establishment of the planned development will not unreasonably impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;* All of the properties directly adjacent to and or in the vicinity of our site are in excellent condition and appear to utilize most, if not all available property to the extent permitted by zoning code. The proposed project will not unreasonably impede the ability of other property owners to make necessary modifications or develop their respective properties as they may see fit.

5. *That adequate measures have been or will be taken to provide ingress and egress in a manner which minimizes pedestrian and vehicular traffic congestion in the public ways;* The development of this property will include the removal of existing structures and one of two driveway entrances from Green Bay Road. A wider and more safely accessible entrance will be provided at the SE corner of the property offering better line of sight for those exiting the property. Each unit owner will also be provided with 2- internal parking spaces and two additional guest parking spaces including an ADA accessible space in the rear of the building. The removal of the one entrance will provide for an increase of space that will allow up to four street parking spaces on Green Bay Road. Lastly, we have worked proactively with staff to establish ingress and egress to the site that is efficient and provide adequate access for emergency vehicles.

6. *That adequate parking, utilities, access roads, drainage and other facilities necessary to the operation of the planned development exist or are to be provided;* We have confirmed adequate utilities are available to the site for the proposed use. We will also meet and improve the parking and entrance access for the proposed development.

7. *That the planned development in all other respects conforms to the applicable regulations of this and other applicable Village ordinances and codes.* The proposed project will comply with all current building and life safety codes. Although most of the zoning regulations provided for the B-1 district have been met, we will be requesting zoning relief for:

- I. Consolidation of the two lots
- II. Building height (maximum feet & stories),
- III. Maximum building size (floor area ratio)
- IV. Impermeable surface coverage.
- V. Exterior wall articulation
- VI. Principal roof form

Exceptions

1. *The proposed exception will enhance the overall quality of the development, the design of the structures, and the site plan to further the goals and objectives of the Comprehensive Plan and the Design Guidelines;* The recent removal of one of the dilapidated structures was a step in the right direction, but the property remains severely underused given the development of nearby properties over the last 20-years. We propose a significant improvement to the site by way of quality design, enhanced landscaping and cohesiveness with the neighborhood. The Comprehensive Plan speaks to ever evolving economic and cultural conditions that affect the characteristics of the community. The Design Guidelines assure the charming aesthetic character of the Village is preserved. The proposed project will provide alternative housing that will allow existing residents to downsize while not compromising the quality of life. More importantly, it allows current residents to remain in the community. The architectural design for the Walden Flats was the result of careful review of the Village's Design Guidelines including, touring the downtown business district and surrounding neighborhoods. It is our hope that the community agrees with our resulting interpretation.

We believe the proposed increase in height and FAR provides appropriate latitude to design a building that meets all these objectives.

2. *The proposed exception will enable the development to offer environmental and pedestrian amenities available to all residents of the Village;* The proposed project will offer a single replacement structure on two lots and create a more aesthetically pleasing and cohesive composition of massing with other structures facing Green Bay Rd. Existing parkway trees will be protected and new landscape material installed to enhance the pedestrian experience. The proposed exceptions provide the elements crucial to design integrity and market relevance.
3. *The proposed exception will not cause an adverse impact on neighboring properties that outweigh the public benefits of the development;* The proposed exceptions will not cause any discernible or adverse impact to the use, value or enjoyment of neighboring properties. The development of this property as proposed will offer a significant reduction in storm water runoff to properties downstream and substantially improve property values by way of a more appropriate replacement structure.
4. *The proposed exception will contain a proposed design and use, or combination of uses, that will complement the character of the surrounding neighborhood;* The proposed exceptions are needed to offer details that are consistent with the architectural character of the neighborhood and community. The proposed use will be luxury condominiums averaging 2,300 sf and offer design elements that are historically correct and cohesive with the neighboring properties, which are established single and multi-family residential.
5. *The proposed exception will provide a public benefit to the Village, as described in Section 17.58.120.B of this Code.* The exceptions we propose relate to design elements that are essential to meeting the consumer demands of this underserved market. Our buyers are primarily existing residents who wish to stay in the community but struggle to find housing alternatives that meet their current lifestyle needs. Our proposed design is the result of significant research of the market specific to Winnetka and the overwhelming response was upscale single-floor living with features and amenities that were consistent with the style and quality expected in a North Shore community. That included a minimum of 2,100 sf of living space with 10'-0" ceilings. While we could physically reduce the height and floor area of the building from a technical perspective, the result would significantly impact quality, market relevance and economic feasibility. However, we do maintain that the project as proposed, will offer a new structure that will incorporate sustainable materials, enhancement of the streetscape and meet a verified public need.

We appreciate this opportunity to address each of these standards and exceptions. We look forward to discussing this further with the Planned Development Board at the earliest possible occasion.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line extending to the right.

Rick Swanson AIA, NCARB

PD-P



VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

PLANNED DEVELOPMENT
PRELIMINARY PLAN APPLICATION

Prior to submitting this formal application, the matter must first be reviewed as a concept plan application by the Village Council. If the Council has not yet reviewed your concept plan application, please contact the Community Development Department to learn what is required. The following materials are the minimum required for the processing of a formal application by the Village of Winnetka's Planned Development Commission and Village Council. A public hearing for an application will not be scheduled until all required materials have been submitted and revised as necessary to meet Code requirements, as determined by Village staff. If you have questions regarding the completion of this application please contact the Development & Planning Services Department at 847-664-4050.

The initial submittal MUST contain:

- 7 collated copies of complete sets** of all application materials, including the application form, required attachments, and folded full size plat/plan sheets
- 1 electronic version (PDF)** of ALL application materials (**refer to application section regarding instructions**).

Applicant Information

Legal Name Scott Perlson

Company Walden Winnetka LLC

Address [REDACTED]

City, State, Zip Deerfield, AZ 60015

Phone No [REDACTED]

Email [REDACTED]

Primary Contact Person

Name Rick Swanson

Company _____

Address _____

City, State, Zip _____

Phone No _____

Email _____

Consultants *(as applicable)*

Attorney

Name Scott Weinstein

Company Field and Goldberg, LLC

Address 10 S La Salle Suite 2910

City, State, Zip Chicago, IL 60603

Phone No 312 408-7205

Email sweinstein@fieldandgoldberg.com

Architect/Planner

Name Rick Swanson

Company Swanson Development LLC

Address 11418 E Mission Ln.

City, State, Zip Scottsdale, AZ 85259

Phone No 847 757-3975

Email rick@rmswanson.com

Civil Engineer

Name Eric Mancke

Company ESM Civil Solutions

Address 4320 Winfield Rd. Suite 200

City, State, Zip Warrenville, IL 60555

Phone No 630 624-0520

Email ericesmcivilsolutions.com

Other

Name _____

Company _____

Address _____

City, State, Zip _____

Phone No _____

Email _____

Property Information *(if more than one parcel is involved in the request please include the information for all parcels)*

Site Location/Address: 688 & 694 Green Bay Road

Property Index Numbers: _____

Size of Property: (square feet/acres) 15,000 sf

Size of Building Space, if applicable: (square feet) _____

Current Comprehensive Plan Land Use Designation: Multi-family

Current Zoning: B-1

Current Use of the Property: Residential/Vacant

Is any portion of the property within the 100-year floodplain?¹ Yes: _____ No: X

Requested Action(s) *(check all that are applicable):*

Planned Development – Preliminary Plan

Amendment to Existing Planned Development

Ord. No. _____

Comprehensive Plan Amendment

Rezoning from _____ to _____

Special Permit for _____

Zoning Code Text Amendment

Zoning Exceptions (attach document listing and explaining exceptions)

Subdivision – Preliminary Plat

Subdivision Exceptions (attach document listing and explaining exceptions)

Other _____

Plat of Survey & Parcel Legal Description(s)

Attach the most recent plat of survey of the Subject Property, certified by a registered land surveyor, showing existing lot lines and dimensions, lot area, all easements, all public and private rights-of-way, and all streets across and adjacent to the subject property.

Conformity with Comprehensive Plan

Include a written statement explaining the conformity, or lack of conformity, of the approval being requested to the Village's Comprehensive Plan Map. Where the approval being requested does not conform to the Comprehensive Plan, provide reasons justifying the requested approval.

Site Ownership and Control

Current Property Owner Information

Legal Name: CCF Winnetka LLC

Primary Contact: Clark Golumbo

Address 216 W. Ohio St., 5th Floor

City, State, Zip Chicago, Illinois 60654

Phone No 312-620-1100

Email clark@ccfbridgeloans.com

Proposed Property Owner Information

Legal Name: Walden Winnetka, LLC

Primary Contact: Scott Perlson

Address [REDACTED]

City, State, Zip Deerfield, IL 60015

Phone No [REDACTED]

Email [REDACTED]

Attach a copy of a title policy and affidavit of ownership showing current ownership of the property. If property is held in a trust, also include a certified copy of the trust agreement or a simple affidavit (under oath before a notary) as to who are the beneficiaries of the trust. (Check which document(s) are attached):

- Affidavit of Ownership
- Title Policy or Title Commitment
- Certified Copy of Trust Agreement OR a simple Affidavit Identifying Trust Beneficiaries
- Complete Attachment A, listing all individuals/entities that have a beneficial interest in the legal entity that currently owns the property**
- Complete Attachment B, listing all individuals/entities that have a beneficial interest in the legal entity that is proposed to own the property upon receiving necessary approvals.**

Applicants Involvement with the Property

If the Applicant does not own the property, please also provide documentation showing the applicant's interest in the property (Check which document is attached. The dollar amounts in documents may be blacked-out):

- Owner (see the previous box)
- Real Estate Contract
- Lease
- Other _____
- Complete Attachment C, listing all individuals/entities that have a beneficial interest in the legal entity that is the Applicant.**

Additional Required Attachment(s)

- Planned Development Worksheet - Preliminary Plan
- If zoning or subdivision relief is requested in addition to planned development preliminary plan approval and preliminary plat approval, the Applicant must submit the appropriate additional application forms and materials.

Filing Fees

All applications require payment of a non-refundable fee, as well as additional funds that are held in escrow to off-set anticipated recoverable expenses. Please attach a check with your application and indicate below the amount of the fee submitted.

\$ 935.00 Amount of Non-Refundable Fee (\$935)
\$ 5,000.00 Amount of Escrow (\$5,000)
\$ 5,935.00 Total Application Fee (Non-Refundable Fee plus Escrow)

The escrow covers Village expenses, which include without limitation, Village attorney fees public notice expenses, and the Village's third party consulting fees. If these expenses exceed the initial escrow deposit, the applicant is responsible for reimbursing the Village for the additional fees. If the expenses are less than the escrow deposit, the applicant will be issued a refund by the Village

Applicant/Owner Acknowledgments

By execution of this application in the space provided below, the Applicant and Owner(s) do hereby certify, acknowledge, agree and affirm to the Village of Winnetka that:

1. The Village and its representatives have the right, and are hereby granted permission and license, to enter upon the property, and into any structures located thereon, for purposes of conducting any inspections that may be necessary in connection with this application.
2. I (We) have carefully read this application, the Winnetka Zoning Ordinance and Winnetka Subdivision Ordinance and fully understand the terms and provisions of each.
3. I (We) waive any rights to exemption from disclosure under the Illinois Freedom of Information Act of any and all documents and information submitted in connection with this application.
4. I (We), in accordance with the requirements of the Annual Fee Resolution, the Winnetka Zoning Ordinance and the Winnetka Subdivision Ordinance, agree to pay all applicable filing fees and be responsible for the payment of all reimbursable expenses associated with the processing of this application. In the event the Village determines insufficient funds exist in the escrow, I (we) understand that the Village may, at its sole discretion, stop the processing of the application until sufficient funds are placed in the escrow account.
5. The Property Owner(s) have reviewed the complete application and approve of its filing by the Applicant.

Applicants may attach additional materials or exhibits to this application if necessary or helpful in explaining the relief requested.

Signature of Applicant:

[If Applicant is an individual]

Signature: _____
Print Name: _____
Date: _____

[If Applicant is an entity]

Name of entity: Walden Winnetka LLC
Signature: _____
Print Name: Scott Perlson
Its: Manager
Date: 12/17/19

Signature of Current Property Owner:

[If Owner is an individual]

Signature: _____
Print Name: _____
Date: _____

[If Owner is an entity]

Name of entity: CCF Winnetka LLC
Signature: _____
Print Name: Clark Golambo Golambo
Its: Manager
Date: 12/20/19

****If more than one applicant or property owner, please copy this page and have additional applicants/property owners sign form.**

Note: Village review and approval of any zoning or subdivision applications may be dependent upon the applicant first receiving necessary approvals from State and County regulatory agencies such as, but not limited to, the Illinois Department of Transportation, Illinois Environmental Protection Agency, the Metropolitan Water Reclamation District of Greater Chicago, & the Cook County Highway Department.

PLANNED DEVELOPMENT – PRELIMINARY APPLICATION

ATTACHMENT A: Current Property Owner – Beneficial Interest

Please check which of the following describes the current property owner's beneficial interest in the property and complete this sheet as instructed for each type of beneficial interest:

<input type="checkbox"/> Corporation	If current property owner is a corporation, please list the name and addresses of all officers and directors of the corporation and all shareholders who own individually or beneficially 5% or more of the stock of the corporation. In addition, this application must be accompanied by a resolution of the corporation authorizing the execution and submittal of this application.
<input checked="" type="checkbox"/> Partnership or LLC	If current property owner is a partnership or an LLC, please list all partners, general and/or limited, with an individual or beneficial interest of 5% or greater.
<input type="checkbox"/> Trust	If current property owner is a trust, please provide the trust number _____ and name and address of the Trustee _____ _____ as well as list below the names and address of all beneficiaries of the Trust, together with their respective interests in the trust. The application shall be further verified by the current property owner in his capacity as trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the Trust

Name: Oak Drive LLC.

Address: c/o John Spoeri, Esq.,
[Redacted] Wilmette, IL 60091

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

Name: _____

Address: _____

Ownership or Trust Interest: _____ %

PLANNED DEVELOPMENT – PRELIMINARY APPLICATION

ATTACHMENT B - Proposed Property Owner – Beneficial Interest

Please check which of the following describes the proposed property owner’s beneficial interest in the property and complete this sheet as instructed for each type of beneficial interest:

<input type="checkbox"/> Corporation	If the proposed property owner is a corporation, please list the name and addresses of all officers and directors of the corporation and all shareholders who own individually or beneficially 5% or more of the stock of the corporation. In addition, this application must be accompanied by a resolution of the corporation authorizing the execution and submittal of this application.
<input checked="" type="checkbox"/> Partnership or LLC	If proposed property owner is a partnership or an LLC, please list all partners, general and/or limited, with an individual or beneficial interest of 5% or greater.
<input type="checkbox"/> Trust	If proposed property owner is a trust, please provide the trust number _____ and name and address of the Trustee _____, _____, _____, as well as list below the names and address of all beneficiaries of the Trust, together with their respective interests in the trust. The application shall be further verified by the proposed property owner in his capacity as trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the Trust

Name: Scott Perlson (as 50% owner of LP Partners, LLC)

 Address: ██████████

 Deerfield, IL 60015

 Ownership or Trust Interest: 31.50 %

Name: Equity Investor(s) TBD

 Address: _____

 Ownership or Trust Interest: 30.00 %

Name: Roger Levin (as 50% owner of LP Partners, LLC)

 Address: ██████████

 Northbrook, IL 60065

 Ownership or Trust Interest: 31.50 %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: Lynn Swanson (as 100% owner of Swanson Development LLC)

 Address: ██████████

 Scottsdale, AZ 85259

 Ownership or Trust Interest: 7.00 %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

ATTACHMENT C - Applicant – Beneficial Interest

Please check which of the following describes the beneficial interest in the legal entity that is the applicant and complete this sheet as instructed for each type of beneficial interest:

<input checked="" type="checkbox"/> Corporation	If applicant is a corporation, please list the name and addresses of all officers and directors of the corporation and all shareholders who own individually or beneficially 5% or more of the stock of the corporation. In addition, this application must be accompanied by a resolution of the corporation authorizing the execution and submittal of this application.
<input checked="" type="checkbox"/> Partnership or LLC	If applicant is a partnership or an LLC, please list all partners, general and/or limited, with an individual or beneficial interest of 5% or greater.
<input type="checkbox"/> Trust	If the applicant is a trust, please provide the trust number _____ and name and address of the Trustee _____, _____, _____, as well as list below the names and address of all beneficiaries of the Trust, together with their respective interests in the trust. The application shall be further verified by the applicant in his capacity as trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the Trust

Name: Walden Winnetka LLC

 Address: ██████████

 Deerfield, IL 60015

 Ownership or Trust Interest: 100% %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: Please refer to Exhibit "B" as all members are the same

 Address: _____

 Ownership or Trust Interest: _____ %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %

Name: _____

 Address: _____

 Ownership or Trust Interest: _____ %



11418 E Mission Ln
Scottsdale, AZ 85259
rick@rmswanson.com
Cell (847)757-3975

October 2019

Professional Biography

Richard M. Swanson AIA, NCARB

Mr. Swanson is an awarding winning architect and land developer with over 40 years of experience in design and real estate development of many successful projects throughout the country. He is currently the president of R.M Swanson Architects PC located in Lake Forest, Illinois and Managing Member of Swanson Development LLC. His design work has earned "signature" status in the real estate community, resulting in enhanced value to properties designed and developed by his firm. Mr. Swanson's impressive career in architectural design has been instrumental in establishing an aesthetic-conscience while respecting the cultural and environmental characteristics of the region. This philosophy has provided a key component to working proactively with stakeholders toward a responsible, attractive and, most importantly, successful result. He is a member of the American Institutes of Architects (AIA) and National Council of Architectural Registration Boards (NCARB).

Mr. Swanson has been featured in numerous print media including: Better Homes and Garden, Builder, Professional Builder, Architectural Digest, Home Plan, Chicago Tribune, Chicago Sun Times, North Shore and Chicago magazines. His firm designed Lovell's Restaurant for Apollo 13 Astronaut James Lovell and the award-winning McDonald's Restaurant and Forest Square Retail Centers, both in Lake Forest, Illinois. Mr. Swanson has been the recipient of the Gold Key and Crystal Key Awards and House of the Year Award from Professional Builder Magazine. He was also the first recipient of the Historic Preservation Award given by the Historic Preservation Society of Lake Forest. Mr. Swanson also served as Chairman on several architectural review boards to ensure that design integrity is consistent with the aesthetic character of the corresponding community

Mr. Swanson has developed some of the most desirable properties in the North Shore communities of Chicago, including Evergreen, Windridge, Biltmore, Arbor Ridge, Everett Farm. The Everett Farm project was the first successful collaboration of a land preservation group and developer, which has become one of the more popular and successful examples

of “conservation development” to date. It is routinely used as a model of how preservation of open space can be a benefit to development if implemented creatively and sensibly. Almost all the projects Mr. Swanson has been involved have offered some level of sustainable and/or “green” components to add marketability and provide responsible stewardship.

Mr. Swanson graduated from the University of Illinois, Champaign Urbana in 1979 with a Bachelors of Science degree. He began his architectural career in High School when his drafting teacher hired him part time to help prepare architectural plans for local builders. By the time he started college, he had already gained a comprehensive knowledge of basic structure and design principals. He interned through school with Olson & Associates Architects and several years after with Johnson Architects Ltd overseeing large residential projects and the planning of large-scale land parcels throughout the country. Upon completing his licensure exam, he started R. M. Swanson & Associates, initially designing luxury residences for wealthy clients and celebrities. His first project was to design a home for Chicago Bears running back, Walter Payton, which opened the door for other sports figure clientele.

In 1984, Mr. Swanson gained exposure to the development side of the profession when he was introduced to a distressed property in Lake Forest, Illinois. Like many affluent communities, the City had a more restrictive entitlement process. The project was approved with unanimous support and resulted in the successful sale of all of the building lots within 3-months. This led to numerous other opportunities including the master planning of the West Lake Forest TIF District, which is now fully developed, and thriving. Since then, Mr. Swanson has successfully developed numerous residential, multi-family, commercial and industrial projects in the Chicago area and elsewhere. From 2001 to 2008, R. M. Swanson & Associates’ staff grew to 25 talented individuals, all with specialized skills in design, land planning, real estate, governmental processes and commercial finance. The team was involved in the master planning and entitlement of large land tracts in California, Arizona, Utah, Colorado, Florida, Texas, Wisconsin and Illinois. After the housing and financial crisis of 2008-2010, Mr. Swanson provided consulting services to lenders holding distressed properties to provide triage to woefully distressed assets and determine the appropriate courses of action.

During that same period, Mr. Swanson has actively pursued health care and need-driven development projects such as specialized multi-family housing. His most ambitious venture has been to establish a design program and implement development of a community for adults with developmental disabilities including autism and other spectrum related disorders. His planned Watercolors Assisted Living Community will address this sadly underserved and ever growing need for safe, appropriate and dignified housing for this segment of the population. Mr. Swanson has established an alliance with relevant interest groups around the country and is now considered one of the few experts for design of this unique housing type. The first community is planned for the suburbs outside of Anne Arbor, MI.

Most recently, Mr. Swanson has focused on in-fill projects throughout the North Shore communities in the Chicago area. These include very desirable, high barrier-to-entry communities in the Midwest. All of Mr. Swanson’s current projects have been approved or in consideration for formal approval.

The following is a partial list of projects with a brief description of each:

Residential Developments:

- Evergreen - 134-acre development of 53 luxury single-family homes in Lake Forest, IL offering an average 5,000 to 6,000 square feet of living space. RM Swanson

- installed all improvements and sold 38-lots to custom builders. The remaining lots were sold as design/build packages to homeowners. Completed 1986
- Arbor Ridge – Development of 95, ½-acre lots in Lake Forest, IL for luxury homes with an average of 3,800 square feet of living area. 54-lots were pre-sold to custom builders in one afternoon. All improvements were installed & 100% of the lots closed within 6-months. RM Swanson designed and built 15-homes. Completed 1989
 - Windridge - 42-acre development of 30 lots to accommodate 6,000 to 7,000 square foot luxury homes. RM Swanson designed all of the homes and built 12 of the homes. Completed 1991
 - Meadow Wood – Development of 15 luxury homes in Gurnee, IL. All of the homes were designed and built by RM Swanson. Completed 1987
 - Aberdare Estates – 40-acre wooded parcel entitled & developed as 64, ½ acre residential lots in Gurnee, IL of luxury homes with an average of 4,000 square feet. The project was the Host of the 1994 Parade of Homes. One-quarter of the homes were designed & built by RM Swanson and the remaining sold to custom builders & consumers. Completed 1995
 - Spruce Point – 20-acre property entitled for 12, 1/3-acre residential development lots in Gurnee, IL. All lots sold to a local builder upon recording of the Plat. Complete 1995
 - Emerald Ridge – 40-acre wooded property entitled for a 34-lot subdivision located in Lindenhurst, IL. One-third of the homes were designed & built by RM Swanson. The remaining were sold to builders & homebuyers. Completed 1993
 - Laurel Avenue Condominiums - 36-luxury condominium units designed and constructed by RM Swanson on a 3/4-acre site in downtown Lake Forest, IL. All units were sold within 12-months due to the attractive location and close proximity to conveniences. Completed 1998
 - Everett Farm – 40-acre property entitled & developed as a 22 lot subdivision located in Lake Forest, IL. Developed with Lake Forest Open Lands to preserve 70% green space. All but 4 of the homes were designed and built by RM Swanson. Completed 2000
 - Biltmore - 20-acre property entitled and developed as 5, 2½-acre lot subdivision. All homes were designed and built by RM Swanson. Completed 2002
 - Mettawa Woods - 20-acre wooded property entitled & developed as 8, 1½-acre home sites in Mettawa, IL. All of the lots were sold to custom builders. Completed 2003
 - Amberley Woods – 40-acre property located at IL Rt. 60 and Saunders Road in Lake Forest, IL. Master Planned and Developed as a mixed use of commercial and residential. 10-acres of commercial, 24 single-family lots & 92 multi-family condominium units. Completed 2005
 - The Vue Orlando - 35-story, 323-unit condominium project in downtown Orlando, FL with 6,000 sf of retail space and 3,000 sf health club. Westminster Partners LLC with RM Swanson as a member completed the project. The project is complete and considered one of the premier properties in downtown Orlando. Completed 2006

Entitlement Projects:

- Wauconda Orchards – 300-unit residential project in Wauconda, IL. 60-acre orchard property entitled for 145 single-family and 66 multi-family town home units. Property was sold at preliminary approval to a national homebuilder. Approved 1999
- Liberty Grove – 38-unit, 'empty nester' project in Libertyville, IL. 24-acre property entitled for 18 single family, cluster homes and 30 multifamily town home units. Sold to a local builder upon the recordation of the Plat. Approved 2000

- Blue Oak Glen – 4 lot residential project in Monte Sereno, CA. Purchase of 4-acre property with existing home (teardown). Entitled and sold to local builders during dot.com boom. Approved 2003
- Bridges of Los Altos – 28-unit residential project in Los Altos, CA. 18-acre church property entitled as 28 upscale cluster homes (ave. 2,800 sf). Sold at preliminary approval to local builder. Approved 2003
- Lakemoor Village Square – 600-acre parcel comprised of 1,200 residential units and 29-acres of commercial. Project received preliminary approval and went under contract with several national builders. All of the builders terminated their agreements in 2007 upon the downturn in the real estate market.
- Lindenhurst Village Green- 230-acre parcel comprised of 60-acres of commercial “town center” development and 800 residential units. Project was sold to Oliver/McMillan to develop upscale shopping venue. 70% of the single-family lots were under contract with Horton, which ultimately, did not close due to the 2007 downturn.
- Pearland Town Center (Pearland, Texas) - 400-units of multi-family with 62 units above retail. Strategic alliance with May Realty Group to entitle PUD in a mixed-use urban community.
- Bristol Meadows – 320-acre parcel comprised of 359 residential units, senior living and a commercial area to create a downtown identity for the Bristol, Wisconsin community. This included a large park area attached for recreational purposes. Property received preliminary approval and is awaiting recovery of the real estate market in this area.
- Manatee Forest - 155-acres in Parrish, FL. Entitled for 155-single-family lots clustered for luxury residential homes averaging 4,000 sf. Project received preliminary approvals and was under contract with a local builder group to close at recordation of the Plat. Development put on hold due to economic downturn in 2007.
- Tall Grass Subdivision – in Prairie Grove, Illinois. 280-acre property entitled as 480 residential units and 30-acres of commercial. Received preliminary approval in 2006 and was under contract with Ryland Homes to close upon recording of the Plat. Ryland walked away from this project due to the pending financial crisis.
- Wildflowers Subdivision - 1,300 residential units and 110-acres of commercial in Prairie Grove, Illinois. The project included creation of town identity for the community including an approved Metra Train station and town center with a Village Hall. All entitlements were granted and most of the residential sites were under contract with KB Homes to close in fall of 2007. KB terminated the purchase due to the economic downturn and forfeited a large deposit. The property remains approved as designed and ready for development.
- Elk Meadows – 200 units of residential on 1,600-acres of property in Glenwood, Colorado. 1,100-acres was set aside for conservation. Entitlements were granted and property was sold to an investor in 2006 that held until recently due to the economic downturn. The property is now being considered for a different product type to meet the current demand of this market.
- Rock Springs Ranch – 148 residential units in Riverside County, California. 250-acres of property entitled for ½-acre single-family lots in a “conservation” planned community for upscale homes. The property was sold at preliminary approval to an investor group.
- The Reserve at Hindeman Farms – 320 residential units in Buckeye, Arizona. 60-acre farm property entitled for 12,000 sf single-family homes and a 20-acre commercial center. The property was sold to an investor group at preliminary approval.

- Stonebridge – 210 residential units in Pleasant Prairie, Wisconsin. 120-acre property entitled for 1/3-acre, single-family lots to be sold to local builders that were responding to the significant influx of large corporations locating in this business friendly region. Project received final approval, but development put on hold due to the economic downturn in 2007.
- Forest View – 24 residential units in Wadsworth, Illinois. 1-acre single-family lots of which 20 were pre-sold to custom builders before entitlements were complete. RM Swanson installed improvements and 30% of the homes that were constructed. Average home size, 4,500 sf.
- Parkside Townhome Community- 54-rear loaded luxury townhomes in Libertyville, IL
- Woodland Chase Subdivision- 51-single family homes in Vernon Hills, IL
- Station Square- 72-unit townhome community next to the train station in Libertyville, IL
- Deer Trail Subdivision- 26-single family homes clustered around preserved open space in Long Grove, IL
- Heron Landing Development- Mixed-use development comprised of 312-rental apartments, senior care community and age-targeted single-family in Crest Hill, IL
- Willow Trace- 6-luxury flats in downtown Winnetka, IL

Commercial Projects:

- Conway Court – Completely renovated and 100 percent leased in 1989; property includes over 15,000 square feet of office and retail space. Located in the then emerging West Lake Forest business district.
- Industry Square – 20,000 square foot warehouse/office structure in Mundelein, IL.
- Liberty Square – development featuring four office and condominium units of 4,000 square feet each in Libertyville, IL.
- A.U.L. Insurance Building – 3-story, 20,000 square foot office building in Libertyville, IL.
- Gocky's Restaurant – 250 seat family restaurant in Lake Bluff, IL.
- Bank of Northern Illinois (Libertyville Branch) – Renovation of an existing 4,000 square foot building.
- Swanson Corners – Retail center located in Grayslake, IL.
- Radiation Therapy Center – Medical facility on the grounds of Condell Hospital in Libertyville, IL.
- McDonalds Restaurant – Design for a 2,800 square foot restaurant in Lake Forest, IL.
- Lovells of Lake Forest – 14,000 square foot restaurant in Lake Forest, IL.
- Entourage Restaurant – 15,000 square foot restaurant in Schaumburg, IL.
- Cornerstone Bank & Trust – 15,800 square foot bank facility in Palatine, IL
- Orange Leaf Frozen Yogurt stores
- Forest Square Office/Retail - 50,000 sf office above retail in Lake Forest, Illinois.
- Watercolors of Anne Arbor, Michigan – 54 unit assisted living community for adults with developmental disabilities. Scheduled for completion in 2018.
- Amberley Retail Village- A mixed use commercial development of high-end retail combined with a senior care community in Lake Forest, IL
- Chase Bank- redevelopment of an existing property in Lake Forest, IL
- Beeson Corners- Mixed-use commercial development of retail and luxury rental in Bannockburn, IL





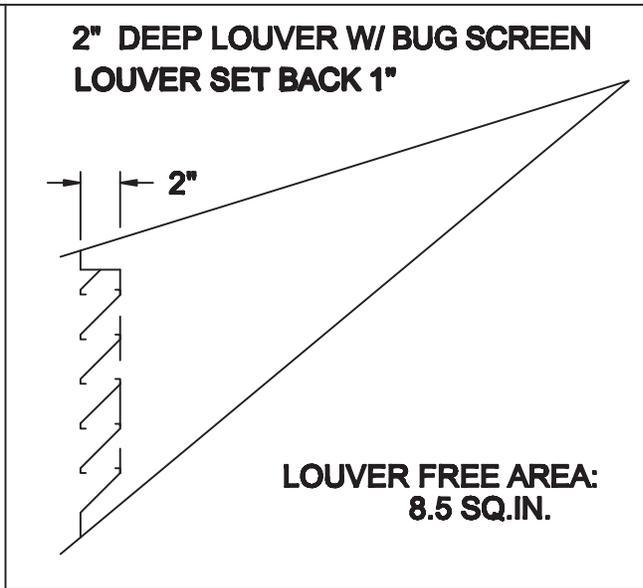
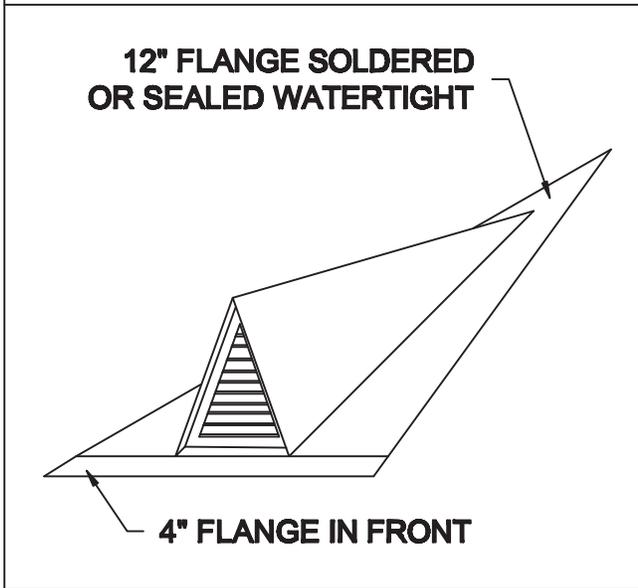
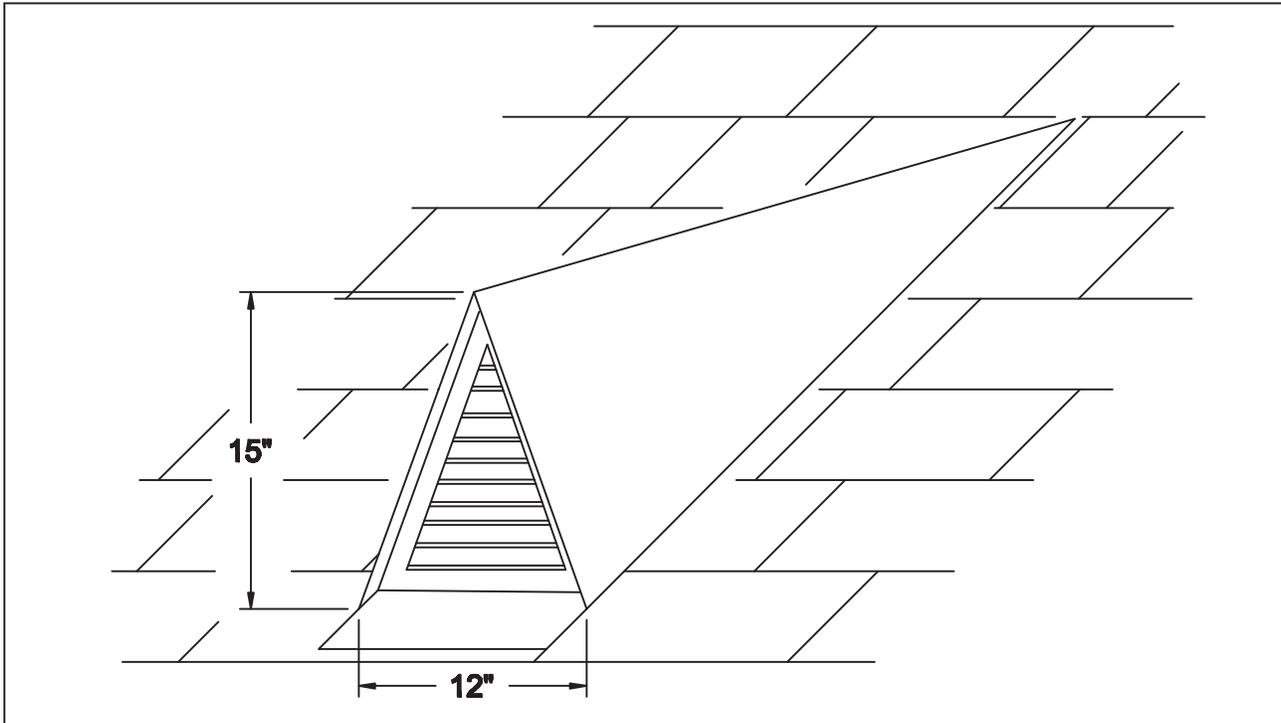








LOUVER DORMER BUTTERFLY



AVAILABLE MATERIALS
 COPPER ZINC/TIN COATED COPPER PREWEATHERED ZINC PATINA COPPER
 PAINT GRIP STEEL PREFINISHED ALUMINUM/ STEEL

REV. 7/14

INSTALLATION:

MARK OPENING IN ROOF DECK ON DESIRED COURSE. CUT OPENING IN DECK. POSITION DORMER OVER OPENING AND FASTEN TO DECK.

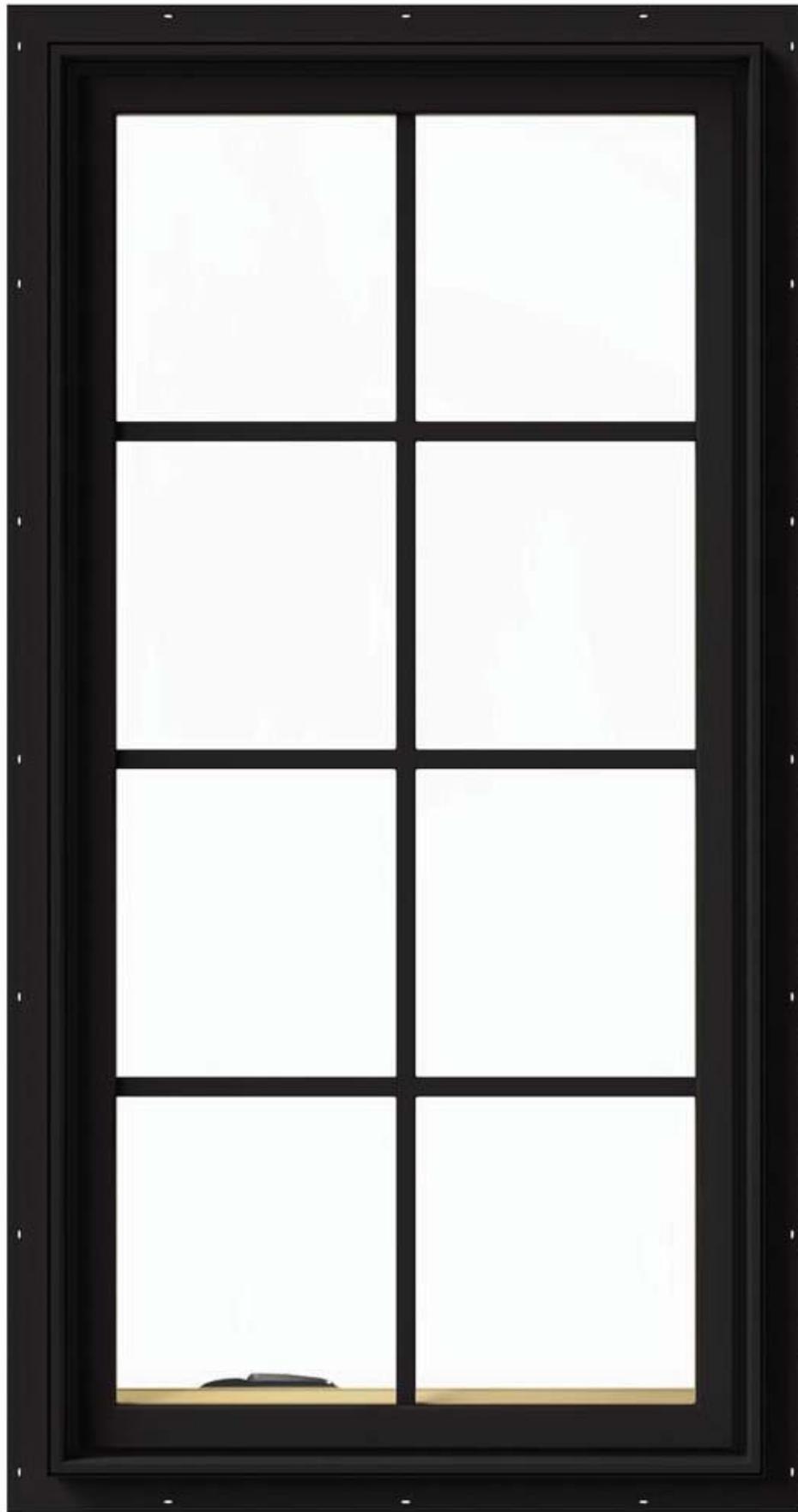
OTHER INFORMATION:

SPECIFY EXACT ROOF PITCH.

OTHER:

INCLUDES INSECT SCREEN OF COMPATIBLE MATERIAL.





Proposed Casement Window: Simulated Divided Lite
Clad (black frame) Double Glazed Insulated



Manufacturer: Da Vinci Roofscapes Inc

Product: Synthetic Slate Roof

Color: Slate Gray

Size: 6", 9" & 12" random widths with 8" exposure



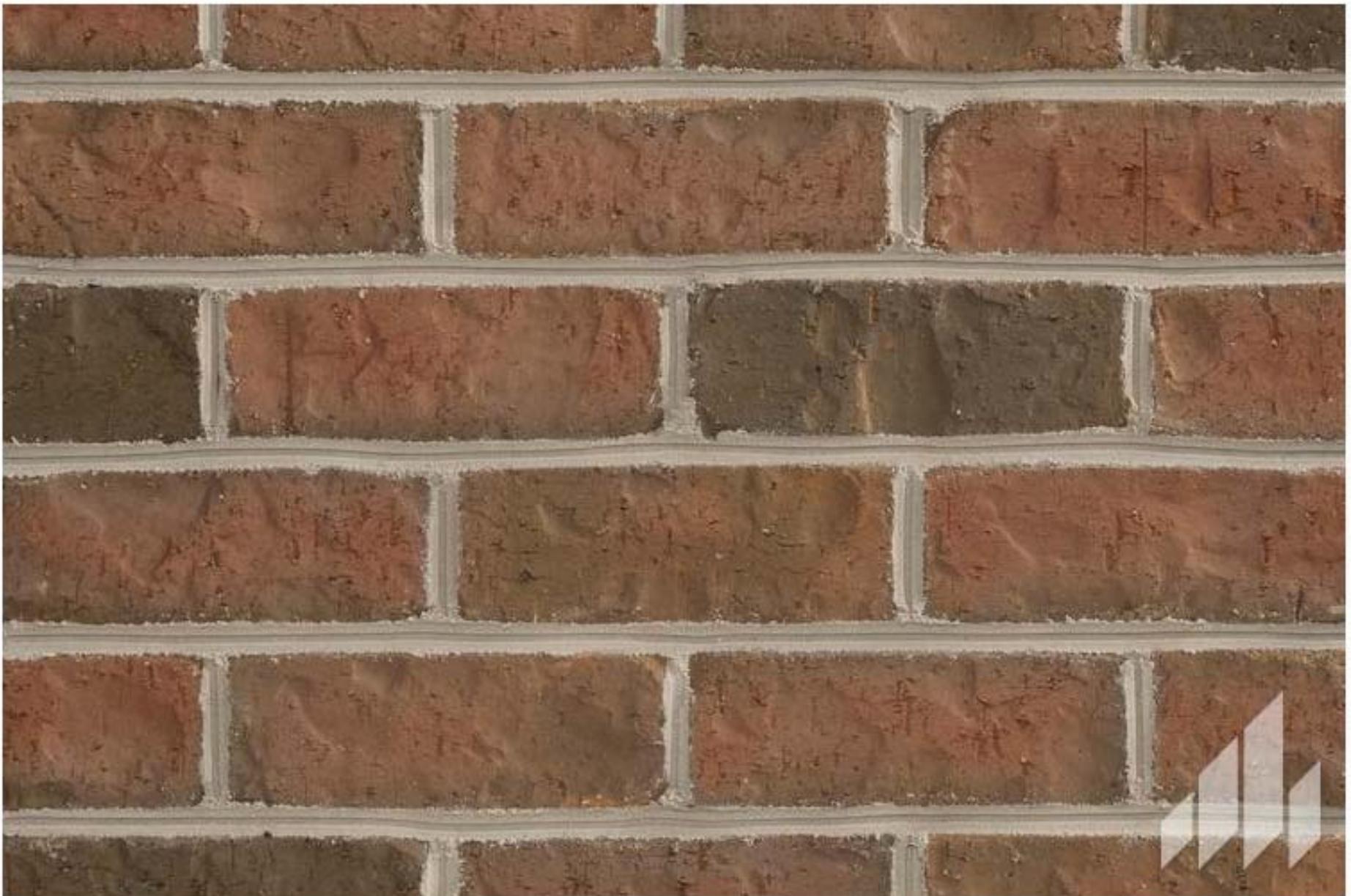
Supplier: Swake Stone

Product Name: Garret's Blend

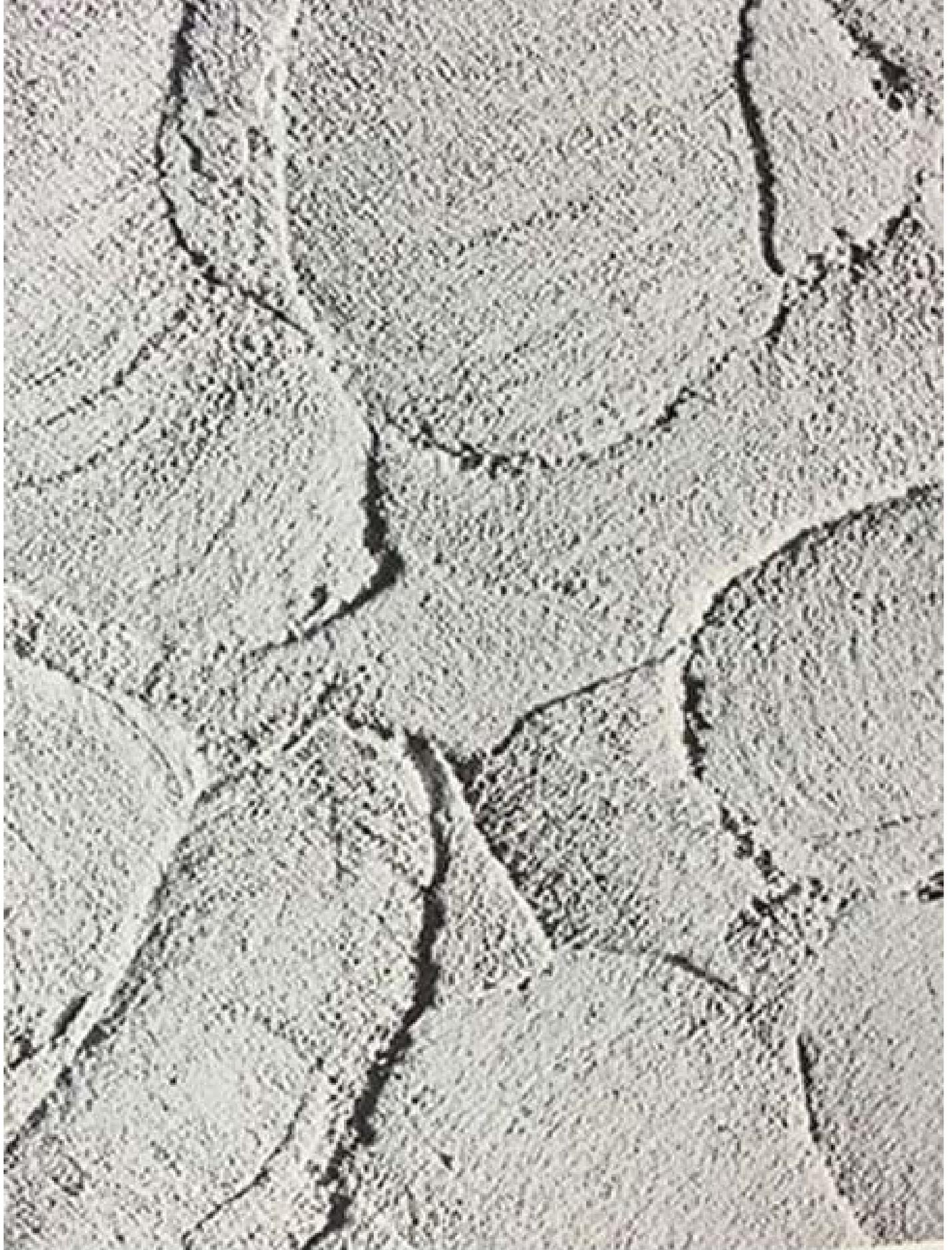
Pattern: Ashlar with regular mortar (bag finish)



East Coast Weathervane 36" tall Finial "The Alexander"



PROPOSED FACE BRICK: GENERAL SHALE "WAKE MANOR"



Proposed Stucco Color & Finish



The proposed wrought iron rail will be similar in color and design including meeting all requirements for height and structural support

FOUNDRY CLASSIC

10231TK

SMALL GOOSENECK BARN LIGHT

Decidedly industrious, Foundry is reinventing purposeful lighting. Focused and direct, the sturdy aluminum shade features knurled brass details to offset the Gloss White, Museum Bronze or Textured Black finish while casting a uniform light. The simple, understated form plants a vintage aesthetic for both inside and outside spaces while offering mix and match options that customize the look.



DETAILS	
FINISH:	Textured Black
MATERIAL:	Aluminum

DIMENSIONS	
WIDTH:	9.5"
HEIGHT:	9.1"
WEIGHT:	5 lbs.

LIGHT SOURCE	
LIGHT SOURCE:	Socket
WATTAGE:	1-100w Med.
VOLTAGE:	120v

SHIPPING	
CARTON LENGTH:	16"
CARTON WIDTH:	16"
CARTON HEIGHT:	16"
CARTON WEIGHT:	8 lbs.

PRODUCT DETAILS:

- Mounting hardware is hidden on the backplate to ensure a clean silhouette.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- 2 year finish warranty
- Classic lines and heritage details complement traditional architecture
- Striking black finish enhances design



RALEY

1602MB-LL

LARGE HANGING LANTERN

Raley's regal appearance features cast aluminum construction, a bold Museum Black finish, flourishing details and clear water glass panels for a dignified style statement.

DETAILS	
FINISH:	Museum Black
MATERIAL:	Cast Aluminum
GLASS:	Clear Water Glass Panels

DIMENSIONS	
WIDTH:	11.8"
HEIGHT:	27.5"
WEIGHT:	14 lbs.

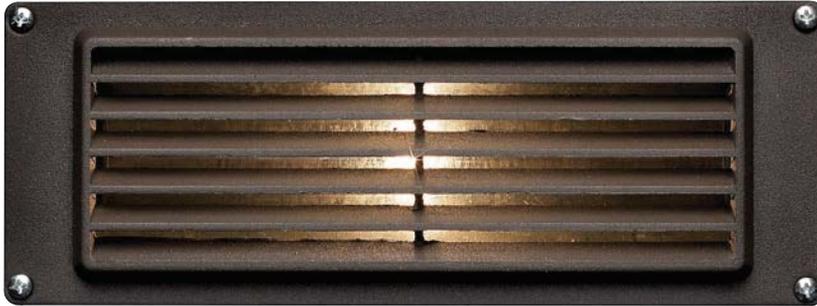
LIGHT SOURCE	
LIGHT SOURCE:	LED Lamp Included
LED NAME:	E12LED-5
WATTAGE:	4-5w Cand. LED *Included
VOLTAGE:	120v
COLOR TEMP:	2700.0000k
LUMENS:	1400
CRI:	80
INCANDESCENT EQUIVALENCY:	4-40w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.

MOUNTING	
CANOPY:	5.5" Dia.
LEAD WIRE:	72"

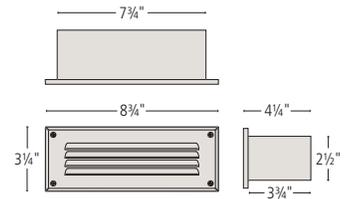
SHIPPING	
CARTON LENGTH:	15"
CARTON WIDTH:	15"
CARTON HEIGHT:	26"
CARTON WEIGHT:	20 lbs.

PRODUCT DETAILS:

- This chain or cable hung fixture may be installed on any sloped ceiling.
- Suitable for use in damp (interior moist and outdoor no direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- 2 year finish warranty
- LED Lamps carry a 3-year limited warranty
- Classic lines and heritage details complement traditional architecture
- Striking black finish enhances design



1594 BZ
1594 BZ-LED
 LOUVERED BRICK LIGHT
 8¾" W, 3¼" H, 4¼" D



1594 MZ
1594 MZ-LED
 HARDY ISLAND™
 LOUVERED BRICK LIGHT
 8¾" W, 3¼" H, 4¼" D



LED ITEM	LED ENGINE (INCLUDED)	LED WATTAGE/ VOLT AMPS	INCANDESCENT EQUIVALENCY	ITEM	LAMP (INCLUDED)	WATTAGE	LED LAMP (NOT INCLUDED)	FINISH	CONSTRUCTION	GLASS LENS
1594 BZ-LED	NX3	3.8w / 5.7VA	25w	1594 BZ	912	12w	T5 LED	Bronze	Galvanized Steel Housing Cast Aluminum Faceplate	Clear
1594 MZ-LED	NX3	3.8w / 5.7VA	25w	1594 MZ	912	12w	T5 LED	Matte Bronze	Galvanized Steel Housing Solid Brass Faceplate	Clear

See pages 82-83 for LED conversion lamps. A wiring kit is supplied. For accessories, see pages 78-79. For transformers, see pages 76-77.

PHOTOMETRICS (BASED ON VARIOUS MOUNTING HEIGHTS)

DISTANCE FROM LIGHT		LED ITEM	1'	2'	3'	4'	5'	6'	7'	8'	ITEM	1'	2'	3'	4'	5'	6'	7'	
FOOT CANDLES	6" Mounting	1594 BZ-LED	37.1	11.83	3.06	1.55	1.07	0.85	0.71	0.6	1594 BZ	0.90	0.50	0.23	0.03				
	18" Mounting		0.58	1.19	4.1	2.03	2	1.46	0.87	0.49		0.99	0.73	0.55	0.37	0.17	0.08		
	30" Mounting		0.11	0.27	0.45	0.97	1.55	0.84	0.74	0.74		0.52	0.43	0.36	0.28	0.20	0.16	0.10	
	6" Mounting	1594 MZ-LED	3.07	0.74								1594 MZ	2.19	0.53					
	18" Mounting		1.40	0.32	0.25	0.20					1.00		0.21	0.18	0.14				
	30" Mounting		0.97	0.45	0.42	0.22	0.07				0.69		0.32	0.31	0.05	0.14			



5" IC NEW CONSTRUCTION HOUSING IC20 LEDT24

COMPATIBLE WITH
5RLD SERIES



Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

PRODUCT DESCRIPTION

IC Air-Loc® New Construction Housing for use with Juno retrofit LED trim modules • Energy efficient, sealed housing • Can be completely covered with insulation • Fully sealed housing stops exfiltration of air, reducing heating and air cooling costs without the use of additional gaskets.

PRODUCT SPECIFICATIONS

Electrical Connections Features non-screw base 120V plug-in connector • Compatible with Juno retrofit LED trim modules

Labels U.L. listed for U.S. and Canada for through-branch wiring and damp locations • Meets high efficacy requirements of California T24

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Specifications subject to change without notice.

INSTALLATION

Real Nail 3 Bar Hangers Telescoping Real Nail® 3 system covered under US Patent D552,969 permits quick placement of housing anywhere within 24" O.C. joists or suspended ceilings • Integral T-bar notch and clip secures housing in suspended ceiling grid – no accessory clips required • 24" expansion stop allows quick placement of fixture in standard grid spacing • Bars scored in two locations for fast, clean breaking, allowing housing installation in tight applications • Bars captive to mounting frame • Edge-mounted for extra strength • Captive bugle-headed ring shank nail for quick one-step installation and easy removal with claw hammer for fixture relocation • Quick-Loc slot (location identified on the mounting frame) and oversized locking set screw lock fixture in position • Bar hanger foot contoured to align to bottom of construction joist • Alternate mounting holes included.

Junction Box Pre-wired junction box provided with (5) ½" and (1) ¾" knockouts, (4) Non-metallic sheathed cable connectors and ground wire, U.L. listed/CSA certified for through-branch wiring, maximum 8 No. 12 AWG 90° C branch circuit conductors (4 in, 4 out) • Junction box provided with removable access plates • Knockouts equipped with pryout slots.

Mounting Frame 22-gauge die-formed galvanized steel mounting frame • Rough-in section (junction box, mounting frame, housing and bar hangers) fully assembled for ease of installation • Sight lines embossed on mounting frame to allow for easy viewing when aligning fixtures.

Housing IC housing, .032" aluminum sealed for Air-Loc Compliance • Housing is vertically adjustable to accommodate up to a 1" ceiling thickness.

PRODUCT CODES

Catalog Number	Input Voltage
IC20 LEDT24	5" Incandescent New Construction IC Housing, 4" Quick Connect Housing 120V

Housing and trim can be ordered together or separate, but will always ship separately.

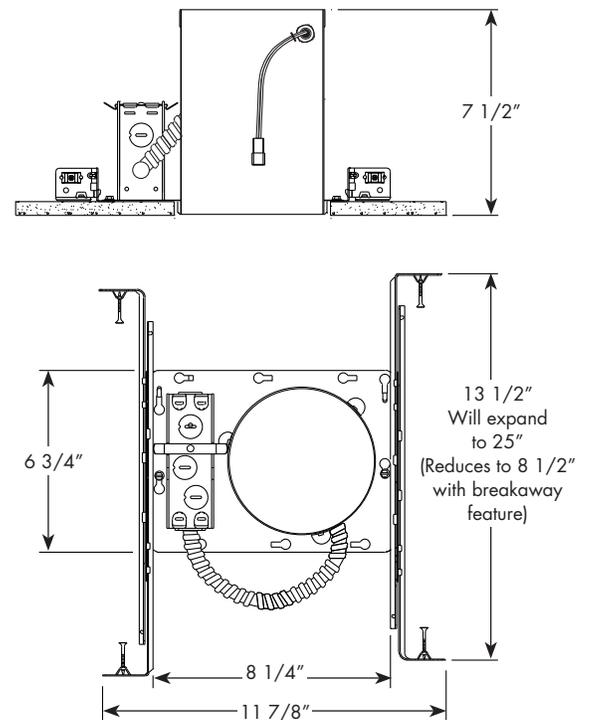
COMPATIBLE LED MODULES

Catalog Number	
5RLD G2 06LM 27K 90CRI 120 FRPC WWH	5" Juno Basics Retrofit Downlight, Generation 2, 600 Nominal Lumens, 2700K, 90+ CRI, 120V, Forward/Reverse Phase Cut, White with White Trim Ring
5RLD G2 06LM 30K 90CRI 120 FRPC WWH	5" Juno Basics Retrofit Downlight, Generation 2, 600 Nominal Lumens, 3000K, 90+ CRI, 120V, Forward/Reverse Phase Cut, White with White Trim Ring

Housing and trim can be ordered together or separate, but will always ship separately.



DIMENSIONS



5 5/8" CEILING CUTOUT



In-ground Stainless Steel Pathway Light (3W)

MODEL: AL-IG-PW-A21

DESCRIPTION

aspectLED's landscape LED lights are bright, energy efficient, and attractively styled, making them perfect for virtually any outdoor application. Ideal for installation along pathways, driveways, sidewalks, landscape edging, and other landscape/architectural features.

A favorite of our golf course, resort and public park customers, these stainless steel pathway lights features an ultra-bright 3W LED and their compact size make for easy installation in virtually any locations. These are designed to be installed with their top trim piece flush with your finished surface (grass, mulch, asphalt, etc.). Perfect for gardens, patios, landscaping, garden walls, building entrances, pathways, decks, gazebos, public parks, docks, and marine environments.

This fixture is available in several versions (single cutout, double cutouts on the same side, double cutouts on the opposite sides, and four cutouts). Withstands standard motor vehicle traffic (golf carts, cars, 3/4 ton pickup trucks). See photos for more details about cut-out options.

PHYSICAL DIMENSIONS + SPECIFICATIONS

	12VDC	24VDC	12VAC
Light Fixture Dimensions	3.5" Diameter 3.75" Deep 2.5" Cut out hole	3.5" Diameter 3.75" Deep 2.5" Cut out hole	3.5" Diameter 3.75" Deep 2.5" Cut out hole
LED Driver Input Voltage	12VDC	24VDC	12VAC
Dimmable	No	No	No
Nominal Power Consumption	3 Watts	3 Watts	3 Watts
Max Luminous Flux of LED Array	300 Lumens	300 Lumens	300 Lumens
LED Type	SMD LED Chips	SMD LED Chips	SMD LED Chips
LED Quantity	3 - High Power 1 Watt LEDs	3 - High Power 1 Watt LEDs	3 - High Power 1 Watt LEDs
Fixture Material	Stainless Steel	Stainless Steel	Stainless Steel
Lens	Optical, >85% efficient	Optical, >85% efficient	Optical, >85% efficient
Glass	Step-tempered glass	Step-tempered glass	Step-tempered glass
Waterproof Seal	Silicone Seal	Silicone Seal	Silicone Seal
IP Rating	IP65	IP65	IP65
Load Rating	1,760 psi	1,760 psi	1,760 psi
Fixture Weight	1.6 lbs	1.6 lbs	1.6 lbs
Estimated Lifespan	Up to 50,000 hours	Up to 50,000 hours	Up to 50,000 hours
Warranty	1 Year	1 Year	1 Year
Suitable Uses	Indoor/Outdoor, Dry, Damp or Wet Locations	Indoor/Outdoor, Dry, Damp or Wet Locations	Indoor/Outdoor, Dry, Damp or Wet Locations
Certifications	RoHS	RoHS	RoHS

CERTIFICATIONS



DIMENSIONS



SKU BUILDER

Model Number

AL-IG-PW-A21

LED Color

[Empty selection box]

Voltage

[Empty selection box]

Wire Lead Length

[Empty selection box]

*This fixture is available in several versions (single cutout, double cutouts on the same side, double cutouts on the opposite sides, and four cutouts). Please specify cut-out choice when ordering fixture.

- Warm White - WW
- Cool White - CW
- DayWhite - DW
- Blue - B
- Green - G
- Red - R
- Yellow/Amber - Y
- RGB - RGB

- 12VDC
- 24VDC
- 12VAC

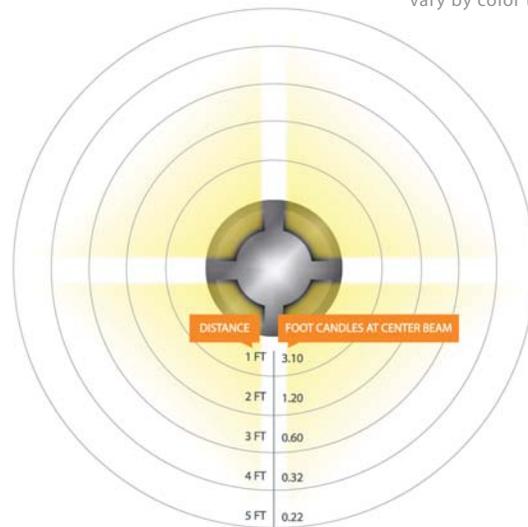
- 2 Feet - 2FT
- 25 Feet - 25FT
- 50 Feet - 50FT
- 100 Feet - 100FT

ACCESSORIES

- 30 Watt LED Power Supply**
SKU: AL-PS-W-30
Price: \$16.99
- 60 Watt LED Power Supply**
SKU : AL-PS-W-60
Price: \$25.99
- 100 Watt LED Power Supply**
SKU : AL-PS-W-100
Price: \$37.99
- Mounting Sleeve for AL-IG-A21**
SKU: AL-IG-A21-MS
Price: \$3.51

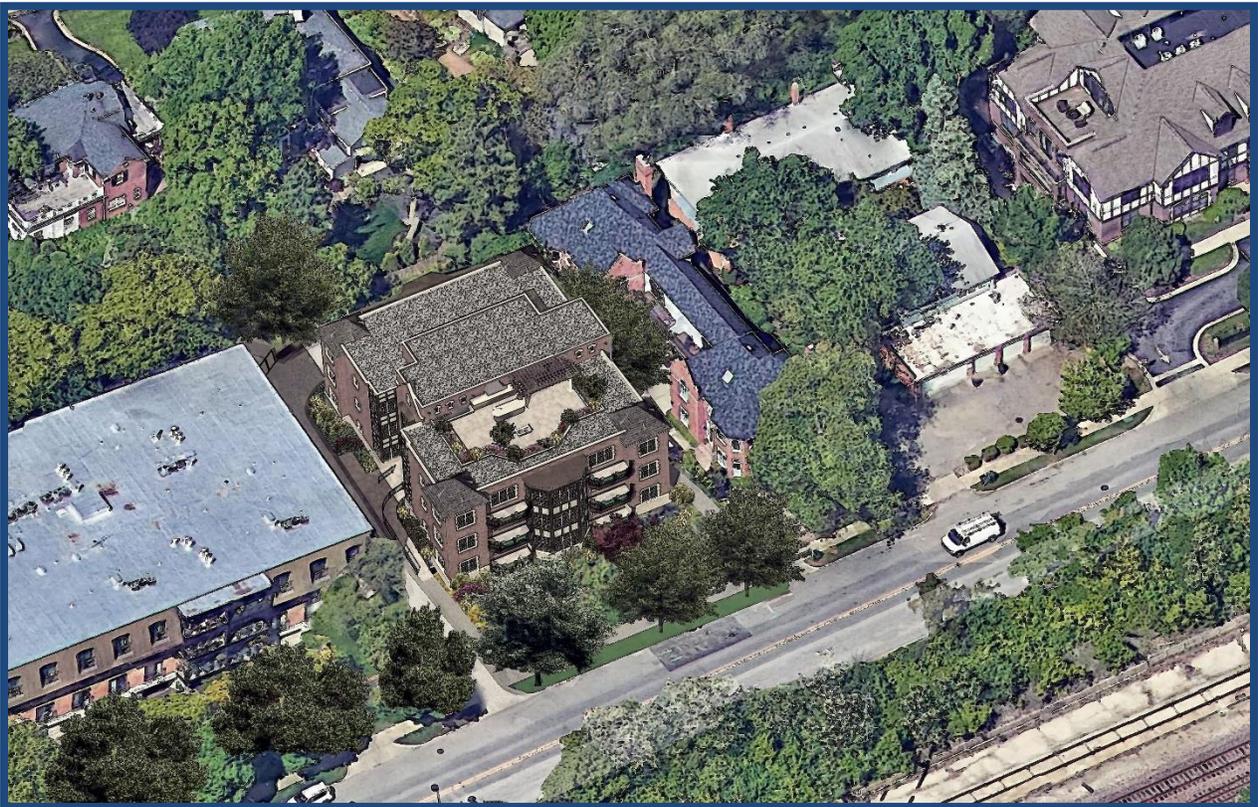
PHOTOMETRICS

*Cool white tested. Light output may vary by color temperature.



Summary Traffic and Parking Evaluation The Walden

Winnetka, Illinois



Prepared For:

Walden Winnetka LLC



January 20, 2020

Introduction

This memorandum summarizes the methodologies and findings of a summary site traffic and parking evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for The Walden, a proposed luxury condominium building to be located at 688 Green Bay Road in Winnetka, Illinois. The site is bounded by single-family homes to the north and west, a four-story residential building to the south, and Green Bay Road to the east.

Existing Conditions

The site is located on the west side of Green Bay Road, a four-lane roadway that is under the jurisdiction of the Illinois Department of Transportation (IDOT) and is signalized at its intersections with Pine Street to the south and Eldorado Street to the north. Green Bay Road has a 35 mph speed limit and carries an Annual Average Daily Traffic (AADT) volume of 9,150 vehicles per day. Based on previous traffic studies conducted by KLOA, Inc. in Winnetka, the morning and evening peak hours typically occur from 7:45 to 8:45 A.M. and from 5:00 to 6:00 P.M., respectively.

Traffic Characteristics of the Proposed Development

The following identifies the traffic characteristics of the proposed development.

Proposed Development Plan

The site is currently developed with two single-family homes (one of which has been removed) with two curb cuts on Green Bay Road. The development plans call for a four-story building that will contain six luxury condominiums with 12 underground parking spaces and two exterior parking spaces for guests.

Vehicle Access

Access to the proposed development will be provided via a single access drive near the south property line, replacing two existing curb cuts. The access drive should provide one inbound lane and one outbound lane with outbound movements under stop sign control.

Development Traffic Generation

The estimates of vehicle traffic to be generated by the proposed development are based on the proposed land use type and density. The volume of traffic generated was estimated using data published by the Institute of Transportation Engineers in the *Trip Generation Manual*, 10th Edition.

Table 1 tabulates the total trips anticipated from this proposed development for the weekday morning and weekday evening peak hours and on a daily basis. As shown in Table 1, the proposed development is estimated to generate a very low volume of traffic which, when compared to the amount of traffic carried by Green Bay Road, will have a low traffic impact on the surrounding roadway network. It should be noted that not all of the trips will be new, as the site contains two single-family homes.

Table 1
 ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

ITE Land-Use Code	Proposed Use	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic		
		In	Out	Total	In	Out	Total	In	Out	Total
221	Condominiums (Six Units)	1	2	3	2	1	3	16	16	32

Parking

The proposed development will provide 12 underground parking spaces plus two exterior guest parking spaces. This will translate into a ratio of 2.3 spaces per unit, which exceeds the parking ratios published by ITE in the *Parking Generation Manual*, which indicates a parking requirement of 12 spaces including visitor parking. Should additional parking be required, this can be accommodated by the existing on-street parking on the west side of Green Bay Road, which will be increased with the removal of one of the existing curb cuts.

Summary of Findings

- The development is well-served by the existing surrounding roadway network.
- Based on the low volume of traffic estimated to be generated, the proposed development will have a low traffic impact on the area roadways.
- The proposed development will eliminate one of the curb cuts on Green Bay Road, which will help reduce conflicts with pedestrians and vehicular traffic and will increase the availability of on-street parking on Green Bay Road.
- The proposed access drive should provide one inbound lane and one outbound lane with outbound movements under stop sign control.
- Based on ITE parking generation data, the proposed parking supply of 12 underground spaces and two exterior spaces will be adequate in accommodating the parking demand of the proposed development.
- Additional on-street parking spaces along Green Bay Road are available should additional parking be needed.

12/14/2019

To Whom It May Concern,

I have been asked to give a professional real estate opinion on the proposed new construction project at 688 Green Bay Road in Winnetka, Illinois. I am the managing broker of @properties in Winnetka and I oversee 170 agents that work in the New Trier housing market.

I believe a 6-unit, boutique luxury condo building is a very smart concept for Winnetka. We are seeing the following trends in the market that would make this a desirable and successful project:

- 1.) There is a strong trend of baby boomers who are looking to downsize from their larger homes that have high costs and maintenance. They are looking for a more turn-key option that allows them more flexibility and lower costs/maintenance overall, as well as, the ability to close the door and be able to leave for a warmer climate in the winter months. However, there is very little inventory available, particularly on the North Shore for this consumer need. There is pent up demand for a property type such as the one proposed at 688 Green Bay Road and this new project would fill a void that has been wanted by so many buyers and buyer brokers in our real estate market.
- 2.) We have had the opportunity to softly pre-market this new construction concept to brokers within our own office, as well as some brokers with other competing firms. We have had a flurry of interest and positive responses from the brokers we have spoken to. In fact, given the interest that we are currently experiencing, we expect most, if not all, of the units to be reserved before the project is formally approved for construction. We already have two of the six units under reservation by qualified buyers.
- 3.) The quality of construction and finishes proposed for this building are right in line with the discerning buyers who currently live in Winnetka and the surround north shore communities. Many are looking for a top finished, quality product that is convenient to their current lifestyle in the suburbs. We are finding that many are not interested in buying a condo downtown but would prefer to find something suitable that is in their general suburban location.

This project is a well desired concept. It will fill a void in our current real estate market, and it will allow Winnetka to keep some of their current residents in the community.

As additional information, I have provided some market information pertaining to attached housing in Winnetka. I have included numbers on homes for sale, closed sales, market time and month supply of inventory. This data is evidence that we have low supply of inventory for the demand we are seeing from those looking to downsize to streamlined/turn-key housing.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Amy Corr', written in a cursive style.

Amy Corr

Designated Managing Broker | @properties

30 Green Bay Road | Winnetka IL, 60093

E: amycorr@atproperties.com | C: 312.286.8468

Closed Sales



Winnetka: Single Family, Attached Single-Family

Each data point is 12 months of activity. Data is from December 13, 2019.

All data from MRED. Data deemed reliable but not guaranteed. InfoSparks © 2019 ShowingTime.

Homes for Sale



Winnetka: Single Family, Attached Single-Family

Each data point is 12 months of activity. Data is from December 13, 2019.

All data from MRED. Data deemed reliable but not guaranteed. InfoSparks © 2019 ShowingTime.

Median Market Time



Winnetka: Single Family, Attached Single-Family

Each data point is 12 months of activity. Data is from December 13, 2019.

All data from MRED. Data deemed reliable but not guaranteed. InfoSparks © 2019 ShowingTime.

Months Supply of Homes for Sale



Winnetka: Single Family, Attached Single-Family

Each data point is 12 months of activity. Data is from December 13, 2019.

All data from MRED. Data deemed reliable but not guaranteed. InfoSparks © 2019 ShowingTime.

January 14, 2020

David Schoon
Planning Division
Village of Winnetka
510 Green Bay Rd.
Winnetka, IL 60093

Re: Village Services Report

Mr. Schoon,

The Village has asked that we provide a Village Services Report summarizing the anticipated demand on all community services as a result of the proposed development of the property located at 688 & 694 Green Bay Rd. This memo will also include the tax impact the proposed luxury dwelling units will generate to offset potential effect to village services.

It should be no surprise that the luxury single-family market has experience a monumental shift in the last 10-years. The Baby Boomers “Boomers” who were the driving force of the “McMansion” era have raised their families and no longer need the space or a desire to maintain it. This demographic wants to stay in the community but seeks a lifestyle that is more leisurely and socially active. Many continue to contribute to the community by way of participation in civic service, patronizing local businesses and paying property taxes. Boomers want to downsize while not compromising quality, style or comfort. The proposed Walden Residences are the result of significant market research with real estate professionals in the community. The overwhelming response has been the same; upscale single-floor living within walking distance of the downtown. This buyer typically has a second home in warmer climates and likely to be there most of the winter. They simply want to close the doors and leave whenever they wish, knowing that someone else is taking care of things in their absence. We expect our buyers to be 55-years of age or older, educated and fiscally responsible. We offer this background as a means to better define influence on the community with regard to the proposed project.

We have identified all relevant community-wide services offered by the Village and addressed each as follows:

Police Department- The proposed project will have negligible effect on current police services. Like many Winnetka citizens, the proposed buyer demographic tends to be responsible, law abiding individuals. They will also be transitory to a certain respect and live in warmer climates in the winter months. The owners of these dwelling units will also have security systems that will likely be connected to police and fire monitors, which is common and does not cause increase demand.

Fire Department- The proposed building will be constructed to meet all NFPA code requirements for life safety including sprinkler fire suppression systems monitored by

independent security companies and connected directly to the fire department. There are no encumbrances to access of the property and the proposed occupancy load of the building is unlikely to increase fire calls. In addition, we see no increase in paramedic and or ambulance calls that the Village is not already prepared to address. Alternatively, the removal of the remaining existing vacated residential structure will decrease the likelihood of police and fire calls.

Public Works- We have confirmed with Village Public Works that adequate water and sanitary services are available to the subject property and will not cause any significant increase in demand on existing treatment facilities. To supplement any immediate impact, the developer will be required to pay a \$65,000.00 connection fee to the Winnetka Electric Company and tap in fees to sewer and water totally \$18,000.00. Secondly, the property is served by a private driveway that will be maintained by the HOA. There will be no additional demand for Village than what already exist. Lastly, the buyer demographic will likely be in residence seasonally and or will travel abroad periodically. This periodic absence significantly reduces demand on public services annually.

Park District- The Village of Winnetka is fortunate to have one of the most attractive park systems on the north shore. There is no question that the proposed project will generate use of the Park District's trails, programs and recreational activities. However, that use will likely be seasonal and have little to no burden to any of these pursuits. At the very least, the real estate taxes and costs associated with participation in fee based activities will easily balance any fiscal impact the proposed project may create for the Park District.

*Schools-*The residential product type we propose is typically not conducive to families with school age children and therefore unlikely to have any increased demand on schools. That is not to suggest that a family with children will be a possibility, though it would be the exception and not the rule. Alternatively, the proposed residents will generate real estate tax revenue with a large portion historically going to local district schools.

*Tax Impact-*The subject property will be comprised of upscale, well appointed dwelling units with convenient amenities that meet or exceed current market trends. Based on comparative analysis of current tax records within the community, we determined that the average annual real estate property tax bill to be approximately 2% of the actual market value of the improved property. Using this same method of computation on the proposed building, we anticipate the average annual real estate tax bill per unit to be approximately \$24,000.00 or \$144,000.00 gross. A more detailed breakdown of how that revenue will be distributed to the relevant taxing districts is attached. The proposed residents will also patronize local shops and restaurants, generating additional sales tax revenue to the community. That is an important point as communities are now understanding the benefits of residential density close to or within walking distance of established business districts.

Please let me know if you should need any further clarification or data with regard to this report

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line extending to the right.

Rick Swanson AIA, NCARB
Managing Member

VILLAGE OF WINNETKA

688 Green Bay Rd Proposed Annual

Tax Collection by District

Estimated Annual Gross Tax Revenue	6-Units	\$	144,000.00
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COOK COUNTY TAXES

County of Cook	3.86%	\$	5,558.40
Consolidated Elections	0.00%	\$	-
Forest Preserve District of Cook County	0.73%	\$	1,051.20
Cook County Public Safety	1.49%	\$	2,145.60
Cook County Health Facilities	0.57%	\$	820.80
<i>Cook County Tax Total</i>	6.65%	\$	9,576.00

MUNICIPALITY/TOWNSHIP TAXES

Town New Trier	0.64%	\$	921.60
General Assistance New Trier	0.10%	\$	144.00
Road & Bridge New Trier	0.00%	\$	-
Village of Winnetka	12.61%	\$	18,158.40
<i>Municipality/Township Taxes Total</i>	13.35%	\$	19,224.00

SCHOOL TAXES

Oakton Community College District	2.99%	\$	4,305.60
New Trier High School 203 (Winnetka)	25.62%	\$	36,892.80
Winnetka Public School District 36	39.08%	\$	56,275.20
SD 35 Bond/Pt Assumed by SD36	0.00%	\$	-
<i>School Taxes Total</i>	67.69%	\$	97,473.60

MISCELLANEOUS TAXES

Winnetka Park District	4.65%	\$	6,696.00
Winnetka-Northfield Public Library District	2.73%	\$	3,931.20
Metro Water Reclamation Dist of Chicago	4.81%	\$	6,926.40
North Shore MosQ Abatement District	0.12%	\$	172.80
<i>Miscellaneous Taxes Total</i>	12.31%	\$	17,726.40

TOTAL	100%	\$	144,000.00
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November 30, 2019

David Schoon
Community Development
Planning Division
Village of Winnetka
510 Green Bay Rd.
Winnetka, IL 60093

Re: Statement of Proposed Financing

Mr. Schoon,

The Village has requested a statement of proposed financing for our planned project at 688 Green Bay Rd to verify Walden Winnetka LLC's ability to complete the project.

We wish to advise that our project will be financed partially by partner investor equity and partially, through conventional lending with one of our bank sources. We are in the process of interviewing several qualified lenders to establish the most attractive terms. Based on past history with projects of this type, we expect to there will be a minimum equity requirement of 30% of project cost with a provision for at least 2-presales of units. Given the strong demand and desirable location, we do not expect presales to be an issue.

We have also completed a thorough review of our project costs with a qualified builder to assure the level of quality proposed for this project is within a realistic budget. In addition, we have conducted market research with our real estate team to determine the most relevant product type and anticipated value for this location.

Please let us know if you should require any further information

Respectfully,



Rick Swanson AIA, NCARB
Managing Member

Attachment A
Applicant Response Submittal



11418 E Mission Ln
Scottsdale, AZ 85259
(847) 757-3975
rick@rmswanson.com

August 11, 2020

David Schoon
Community Development
Planning Division
Village of Winnetka
510 Green Bay Rd.
Winnetka, IL 60093

Re: Design Review Board Follow-up

Mr. Schoon,

We appreciated the opportunity to present our proposed Walden project to the Design Review Board on July 16th and hear comments from both the public and DRB members. Our team took careful notes and have been working in earnest to prepare a cogent response to each of the questions and or concerns relevant to the DRB's process.

We were particularly pleased to hear the proactive comments about the building design and overall quality of proposed materials. It was also clear that the board members recognized the aesthetic significance of the taller design elements and our effort to limit exposure of this mass to adjacent properties.

The primary concern seemed to be with the perceived visual impact of the 4th floor from directly adjacent properties, particularly the property owners to our north and the key properties on Walden Lane. Chairman Albinson echoed fellow members who suggested we revisit the 4th floor roof structure and determine if there might be some way that we could mitigate the appearance of mass as viewed from the most potentially impacted properties. We have done so and are pleased to report that a portion of the stair egress shed roof on the north side was already shifted inward approximately 2'-0" from the back side of the steep gable parapet. While that was reflected on the original submittal packet, it was difficult to comprehend with 2D elevations and how it engages the steep pitch roof mass stretching from the north gable to the south gable. One could easily draw the conclusion that this shed roof is flush with the outside wall, which is not the case. It should also be noted that we were able to shift that shed wall another 1'-2" to 3'-2" from the back of that gable parapet design element. Perception and reality

often, are not the same thing, therefore, it was important that we provide information that helped better understand the reality.

As you know, modern CAD programs provide the ability to create accurate view perspectives from any vantage point. In this case, we were asked to provide updated models offering direct views from various locations on our north and west neighbor's respective properties. These are attached with this memo for your review. They include both winter and summer perspectives with existing and proposed trees in each. If you feel there may be benefit in providing further perspectives, please let us know. As you can see from these exhibits, the visual impact is either screened by the decorative gable elements or parapet walls. In addition, there is a significant amount of existing deciduous and coniferous trees that will be further supplemented by the additional trees we propose to plant. We felt it appropriate to provide both summer and winter views with all proposed plant material.

Lastly, I wish to again point out that we reduced the building height by 4'-0" since and because of comments made in our meeting with the neighbors last summer. A number of those from the public who spoke referenced building element heights that no longer applied. Although I clarified that in our presentation, many continued to reference older data in their public comments. We do not believe this was an intentional oversight but still felt it important to recognize as it was a request by our neighbors that was previously addressed and was not dismissed on our part.

We appreciate this opportunity to revisit our proposed design and please let us know if there is any further information the DRB might need in advance of the August 20th meeting.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line that ends in an arrowhead pointing to the right.

Rick Swanson AIA, NCARB
Managing Member

View Perspective of how the shed
roof engages the main steep pitch
parapet gable roof





Perspective view from north neighbor's driveway entrance





Direct view perspective from the north neighbor's driveway





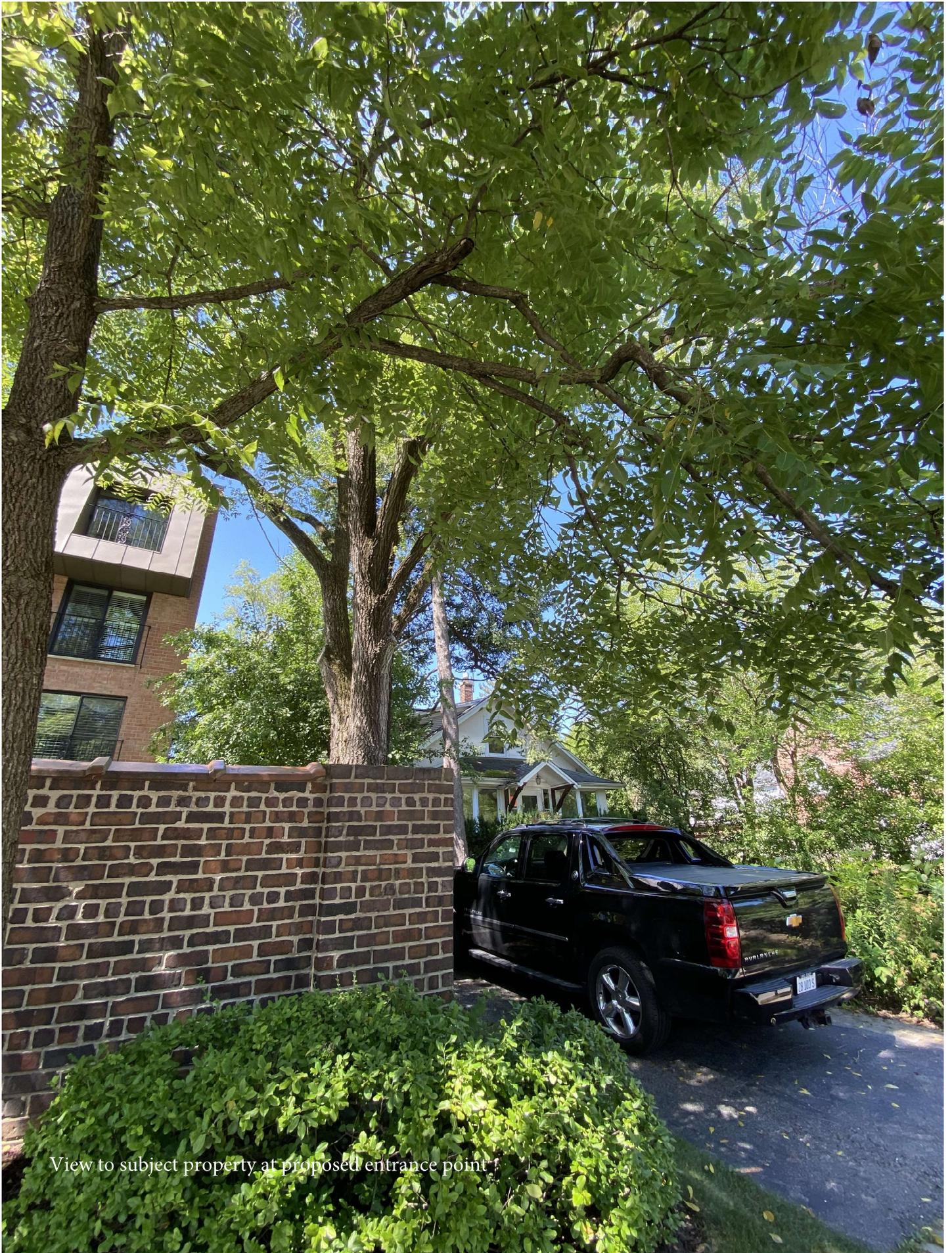
View Perspective from the north neighbor looking to the SE





View perspective from the public sidewalk looking NW at the propose project's entrance point





View to subject property at proposed entrance point



View Perspective from Walden lane looking between the 2-adjacent properties to the subject property





View from Walden Ln looking east between the two immediate neighbors



View perspective from direct Walden neighbor's patio area to subject property





View perspective from between the 2-adjacent Walden properties looking to the subject property









View looking west from property to
Walden neighbor







View looking south to existing
condominium building



View from subject property looking south at public sidewalk

Building Shadow Study



March 20, 8:00am



March 20, Noon



March 20, 6:00pm



June 21, 8:00am



June 21, Noon



June 21, 6:00pm



September 22, 8:00am



September 22, Noon



September 22, 6:00pm



December 21, 8:00am



December 21, Noon



December 21, 6:00pm



March 20, 8:00am



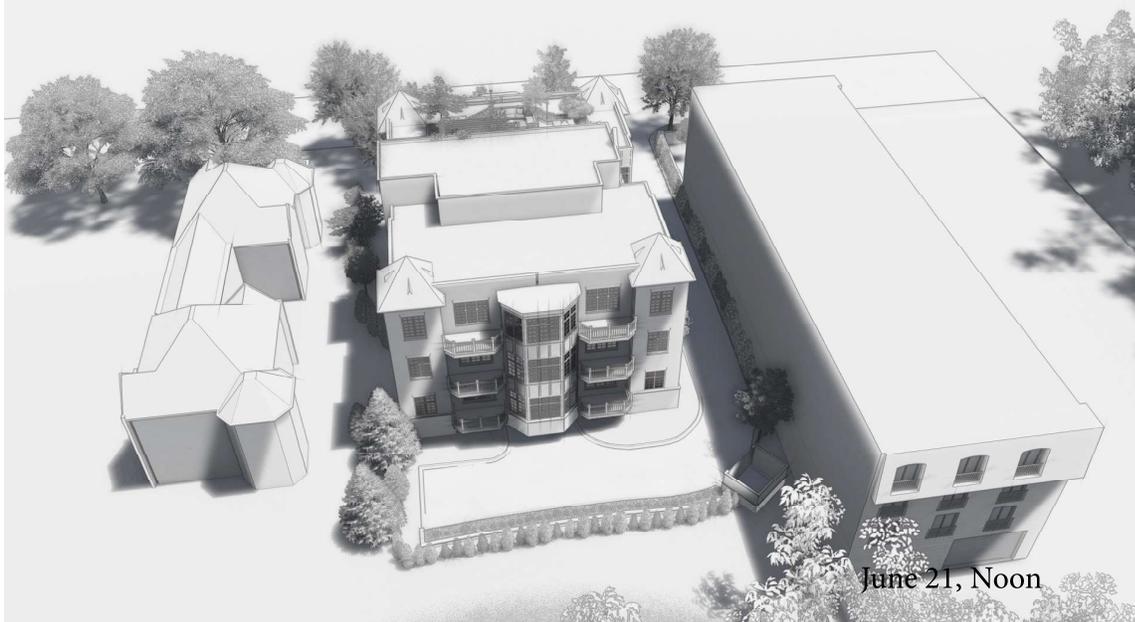
March 20, Noon



March 20, 6:00pm



June 21, 8:00am



June 21, Noon



June 21, 6:00pm



September 22, 8:00am



September 22, Noon



September 22, 6:00pm



December 21, 8:00am



December 21, Noon



December 21, 6:00pm

PROJECT LOGISTICS NOTES

CONTRACTOR TO VERIFY WITH J.U.L.I.E. FOR UNDERGROUND UTILITIES PRIOR TO ANY AND ALL SITE WORK.

THE GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY FASHION DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH, RUBBISH, AND CONSTRUCTION DEBRIS FROM THE JOB SITE DAILY.

THE GENERAL CONTRACTOR SHALL WORK WITH THE SUBCONTRACTORS AND VENDORS TO ASSURE ALL PUBLIC ROADS & SIDEWALKS ARE KEPT FREE OF CONSTRUCTION MATERIALS, DUST, DIRT AND MUD, IN THE EVENT OF ANY OF THESE OCCURRENCES, THE GENERAL CONTRACTOR SHALL TAKE IMMEDIATE ACTION TO HAVE THE ISSUE RESOLVE IN A TIMELY MANNER

TEMPORARY FIRE PROTECTION -- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AND OTHER EQUIPMENT AS NECESSARY FOR PROPER FIRE PROTECTION DURING CONSTRUCTION.

HOURS OF CONSTRUCTION ACTIVITY--WORK SHALL BE PERFORMED MONDAY THRU FRIDAY BETWEEN THE HOURS OF 7:00AM & 6:00PM AND SATURDAY BETWEEN THE HOURS OF 8:00AM & 4:00PM. NO WORK SHALL BE PERFORMED ON SUNDAY.

THE ENTRANCE GATE SHALL BE LOCKED AFTER HOURS

THE CONSTRUCTION ENTRANCE SHALL BE KEPT CLEAR TO 75'-0" FOR DELIVERY PURPOSES ONLY

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF EMPLOYEES ON THE WORK, AND SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF FEDERAL, STATE, AND MUNICIPAL SAFETY LAWS AND BUILDING CODES TO PREVENT ACCIDENTS OR INJURY TO PERSONS ON, ABOUT, OR ADJACENT TO THE PREMISES WHERE THE WORK IS BEING PERFORMED. HE SHALL ERECT AND PROPERLY MAINTAIN AT ALL TIMES AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR THE PROTECTION OF WORKMEN AND THE PUBLIC AND SHALL POST DANGER SIGNS WARNING AGAINST THE HAZARDS CREATED BY SUCH FEATURES OF CONSTRUCTION AS PROTRUDING NAILS, HOISTS, WELL HOLES, ELEVATOR HATCHWAYS, SCAFFOLDING, WINDOW OPENINGS, STAIRWAYS, AND FALLING MATERIALS; AND HE SHALL DESIGNATE A RESPONSIBLE MEMBER OF HIS ORGANIZATION ON THE WORK, WHOSE DUTY SHALL BE THE PREVENTION OF ACCIDENTS.

THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER, RAIN, WIND, STORMS, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FREE FROM INJURY OR DAMAGE. AT THE END OF THE DAY'S WORK, ALL NEW WORK LIKELY TO BE DAMAGED SHALL BE COVERED. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION AS ABOVE REQUIRED SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE.

PROTECTION OF WORK AND PROPERTY -- THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL HIS WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY FROM INJURY OR LOSS, EXCEPT SUCH AS MAY BE CAUSED BY AGENTS OR EMPLOYEES OF THE OWNER, OR DUE TO CAUSES BEYOND THE CONTRACTOR'S CONTROL AND NOT TO HIS FAULT OR NEGLIGENCE. HE SHALL ADEQUATELY PROTECT ADJACENT PROPERTY AS PROVIDED BY LAW AND THE CONTRACT DOCUMENTS.

PROPER GENERAL SUPERVISIONS SHALL BE EXERCISED OVER ALL SUB TRADES IN ORDER TO ASSURE EXPEDIENT COMPLETION OF THE PROJECT. ALL WORK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

WORKMAN'S COMPENSATION INSURANCE -- REQUIRED COVERAGE FOR ALL OF THIS CONTRACTOR'S EMPLOYEES AND/OR AGENTS WHO PROVIDE ANY LABOR WHATSOEVER AS REQUIRED BY STATE ORDINANCES OR CODES.

INSURANCE AND LIABILITY -- DAMAGE TO PERSONS AND PROPERTY: CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, HIS OFFICERS, EMPLOYEES, THE DESIGNER, AND AGENTS FROM THE COST, LESS EXPENSE, DAMAGES, CLAIMS, SUITS, OR LIABILITY IN CONNECTION WITH OR ARISING OUT OF ANY INJURY OR ALLEGED INJURY (INCLUDING DEATH) TO ANY PERSONS, OR DAMAGE ALLEGED TO HAVE BEEN SUSTAINED IN CONNECTION WITH OR TO HAVE ARISEN OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR THEIR RESPECTIVE AGENTS, SERVANTS, AND EMPLOYEES.

IN AN EMERGENCY AFFECTING THE SAFETY OF LIFE OR OF WORK OF OR ADJOINING PROPERTY, THE CONTRACTOR, WITHOUT SPECIAL INSTRUCTION OR AUTHORIZATION FROM THE OWNER, IS HEREBY PERMITTED TO ACT, AT HIS DISCRETION, TO PREVENT SUCH THREATENED LOSS OR INJURY, AND HE SHALL SO ACT WITHOUT APPEAL. ANY COMPENSATION CLAIMED BY THE CONTRACTOR ON ACCOUNT OF EMERGENCY WORK SHALL BE DETERMINED BY AGREEMENT OF ARBITRATION.

ACCIDENT PREVENTION -- EACH CONTRACTOR SHALL EXERCISE PROPER PRECAUTION AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. THE SAFETY PROVISIONS OF APPLICABLE LAW, BUILDING AND CONSTRUCTION CODES SHALL BE OBSERVED, AND THE CONTRACTOR SHALL TAKE OR CAUSE TO BE TAKEN SUCH ADDITIONAL SAFETY AND HEALTH MEASURES AS THE OWNER MAY DETERMINE TO BE REASONABLY NECESSARY. MACHINERY, EQUIPMENT, AND ALL HAZARDS SHALL BE GUARDED IN ACCORDANCE WITH THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, TO THE EXTENT THAT SUCH PROVISIONS ARE NOT IN CONTRAVENTION OF APPLICABLE LAWS.

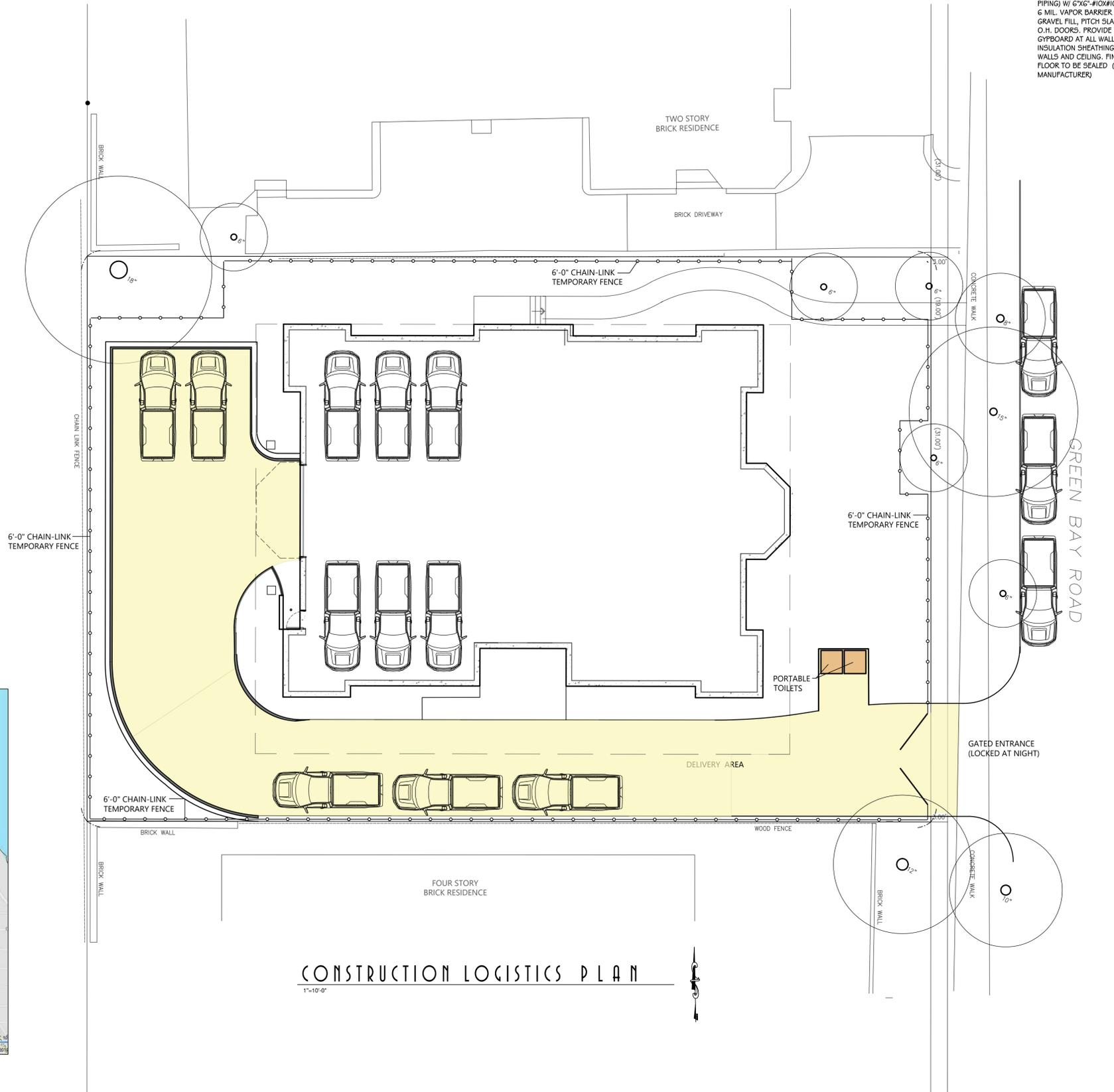
PROJECT CONTACTS

PROJECT OWNER: WALDEN WINNETKA LLC
745 CONSTANCE LN
DEERFIELD, IL 60015
CONTACT: SCOTT PERLSON
312 933-3440

PROJECT DEVELOPER: SWANSON DEVELOPMENT LLC
11418 E MISSION LN
SCOTTSDALE, AZ 85259
CONTACT: RICK SWANSON
847 757-3975

PROJECT GENERAL CONTRACTOR: TO BE DETERMINED

PROJECT SUPERVISOR: TO BE DETERMINED

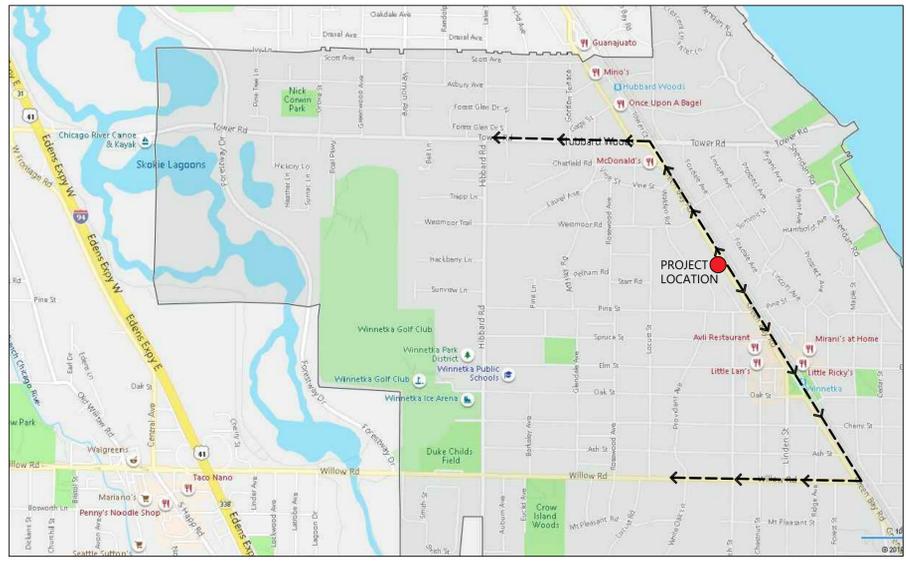


GENERAL NOTES FOR THIS SHEET

4-CAR GARAGE
5" CONC. SLAB (WITH RADIANT HEAT PIPING) W/ 6"x6"-#10@10 W.W.M. OVER 6 MIL. VAPOR BARRIER ON 6" MIN. PEA GRAVEL FILL, PITCH SLAB 2" TOWARD O.H. DOORS. PROVIDE 5/8" TYPE 'X' GYPSBOARD AT ALL WALLS AND RIGID INSULATION SHEATHING AT COMMON WALLS AND CEILING. FINISHED GARAGE FLOOR TO BE SEALED. (VERIFY MANUFACTURER)

CONSTRUCTION LOGISTICS PLAN

1"=10'-0"



CONSTRUCTION ROUTES

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PROFESSIONAL DESIGN FIRM #184-003936

RESIDENCE NAME	
ADDRESS	
CITY, ILLINOIS	

R.M. SWANSON ARCHITECTS
1930 AMBERLEY CT
LAKE FOREST, IL 60045
OFFICE: 847.234.4655
FAX: 847.615.5851

DESIGNED BY:	RICHARD M. SWANSON, AIA JULIO A. VEGA
PREPARED BY:	JULIO A. VEGA ARCHITECT

DATE:	
COMMENT:	

PLAN NO:	1700
SHEET	OF
	1

Page B111

QUANTITATIVE SUMMARY

The Walden of Winnetka

Proposed 3-story, 6-Unit Residential Building

688 Green Bay Road, Winnetka, Illinois

Subject Property Information	Existing	Proposed
Current Zoning	B-1	B-1 PUD
Current Use	Single-family Residential (vacant)	Multi-family
Lot Width	100'-0"	N/C
Lot Depth	150'-0"	N/C
Gross Lot Area	15,000 sf	N/C
Acreage	0.345-acres	N/C
Adjacent Property to the South	4-story multi-family Condo	N/C
Adjacent Property to the North	2-story multi-family Duplex	N/C
Adjacent Property to the East	Green Bay Road	N/C
Adjacent Property to the West	Single-family Residential	N/C
Proposed Development	Permitted By Zoning	Proposed
Density	6-Units (18-DU per acre)	6-Units
Average Residential Unit Floor Area		
Gross Floor Area	12,000 sf (80% of lot area)	17,915.9 sf (49%) over
<i>Building Height</i>	35'-0" (above first floor elev.)	
Roof Parapet		35'-0"
Minor Roof Forms (corner tower elements)		42'-11" (7'-11" over)
Major Roof Forms (gable element)		46'-6" (11'-6" over)
Building Coverage of Lot	6,000 sf (40%)	5,595.3 sf (404.7 sf under)
Impermeable Surface Area	9,000 sf (60%)	11,168.7 sf (24% over)
Front Yard Setback	25'-0"	25'-0"
Rear Yard Setback	30'-0"	30'-0"
Side Yard Setback (south)	12'-0"	22'-0"
Side Yard Setback (north)	12'-0"	12'-0"
Roof Overhangs	18"	8"
<i>Parking</i>	13 1/2-spaces	14-space + 4-street spaces
Below Ground (2-per unit)	12-spaces	12-spaces
On-site Guest Parking	1 1/2-spaces	2-spaces (1 is Handicap)
Street Parking (lot frontage)		4-spaces
<i>Exterior Walls (Difference in plane of walls)</i>	<i>Articulation not greater than 50'-0" & wall plane at least 4'-0"</i>	
East Elevation		Meets the Standard
South Elevation		Meets the Standard
West Elevation		Meets the Standard
North Elevation		Articulation but not 4'-0"
<i>Landscaping & Existing Trees</i>		
Total Existing Trees on Property		16-Trees (152"-gross)
Total Trees to be Removed		12-Trees (114"- gross)
Required Replacement Inches		31"
Total Proposed Replacement Trees		15-Trees (45" gross)
<i>Stormwater Control</i>	Developer to provide a combination of dry detention basin and buried stormwater vault under the proposed driveway . The result will be minimal sheet flow to the westerly neighbors	



EAST ELEVATION

1/8" = 1'-0"

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PROFESSIONAL DESIGN FIRM # 184-003936

THE WALDEN RESIDENCES
 688 GREEN BAY ROAD
 WINNETKA, ILLINOIS

R.M. SWANSON ARCHITECTS
 1930 AMBERLEY CT OFFICE: 847.757.3975
 LAKE FOREST, IL 60045 rfs@rmswanson.com

DESIGNED BY:
 RICHARD M. SWANSON, AIA
 JULIO A. VEGA

PREPARED BY:

DATE:

COMMENT:

PLAN NO.: 1809

SHEET OF
 A3 12

Page B113



STANDING SEAM METAL ROOF

3'-0" X 7'-0" FLUSH STEEL DOOR

COPPER GUTTERS & DOWNSPOUTS

STUCCO

COPPER FINIAL

+710.13'
Top of Gable

DaVINCI SLATE ROOF

DECORATIVE COPPER VENT

+698.6'
Top of Parapet

COPPER GUTTERS

FACE BRICK

COMPOSITE WOOD RAIL & POSTS

2" X 6" COMPOSITE WOOD
TRIM ON STUCCO

SDL CASEMENT WINDOWS

3 1/2" CUT LIMESTONE SILL

FIELD STONE

+663.6'
1ST FLR

+658.5'
TOC

+657.0'
TOC

+654.0'
TOF

3'-0" X 7'-0" INSULATED FLUSH
STEEL DOOR W/ STEEL FRAME

16'-0" X 8'-0" CARRIAGE STYLE
OVERHEAD GARAGE DOOR

CONC. WING WALL

WEST ELEVATION

1/4" = 1'-0"

+694.7'
Top of Ridge

+700.75'
Top of Parapet
Top of Ridge

Y BAY RD

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PROFESSIONAL DESIGN FIRM # 184-003936

THE WALDEN RESIDENCES
688 GREEN BAY ROAD
WINNETKA, ILLINOIS

R.M. SWANSON ARCHITECTS
1930 AMBERLEY CT
LAKE FOREST, IL 60045
OFFICE: 847.571.3975
rfs@rmswanson.com

DESIGNED BY:
RICHARD M. SWANSON, AIA
JULIO A. VEGA

PREPARED BY:

DATE:	COMMENT:

PLAN NO:
1809

SHEET OF
A4 12



NORTH ELEVATION

1/4" = 1'-0"

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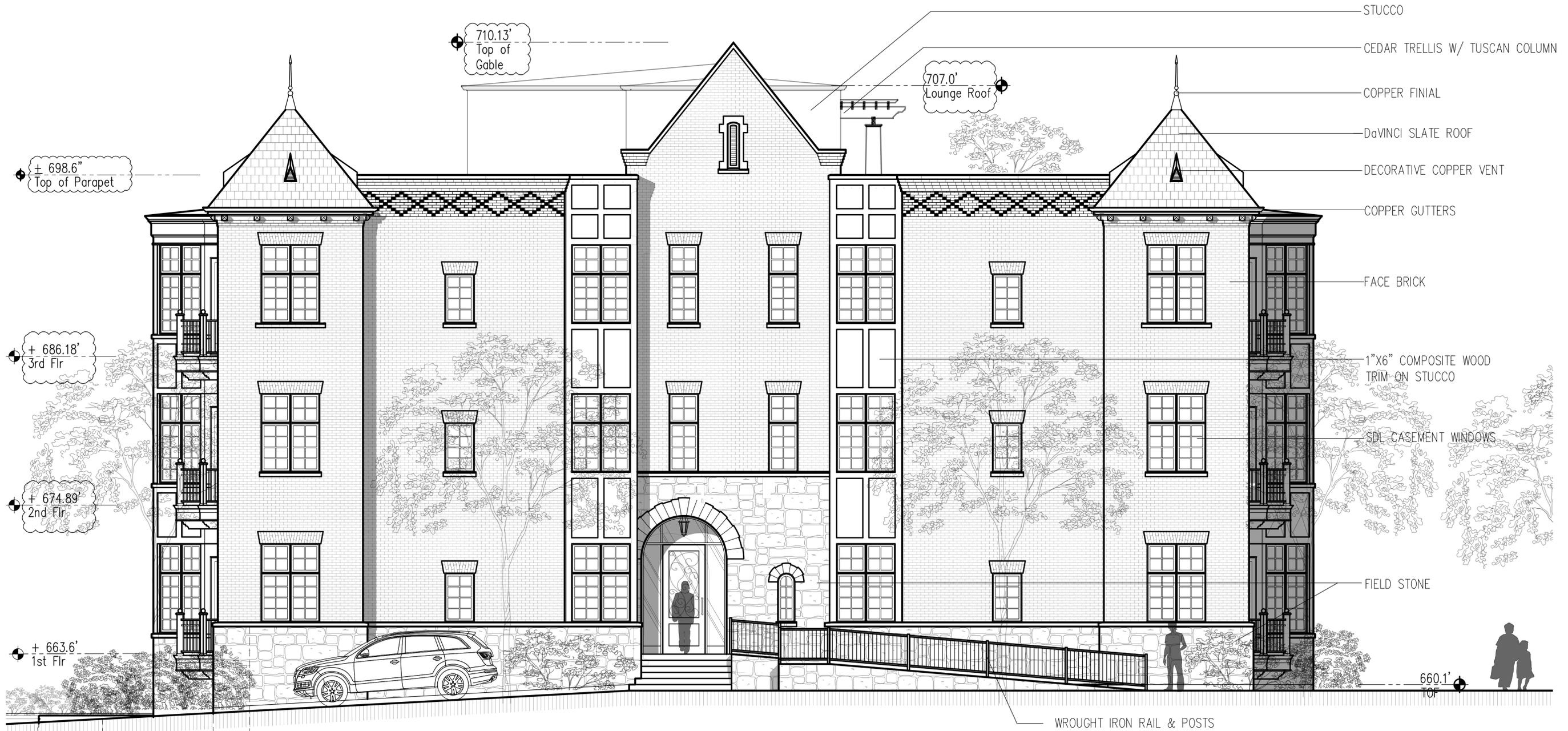
R.M. SWANSON ARCHITECTS
 1930 AMBERLEY CT OFFICE: 847.757.3975
 LAKE FOREST, IL 60045 rsw@rmswanson.com

DESIGNED BY:
 RICHARD M. SWANSON, AIA
 JULIO A. VEGA

PREPARED BY:

DATE: _____
 COMMENT: _____
 PLAN NO: 1809
 SHEET A5 OF 12

Page B115



SOUTH ELEVATION

1/4" = 1'-0"

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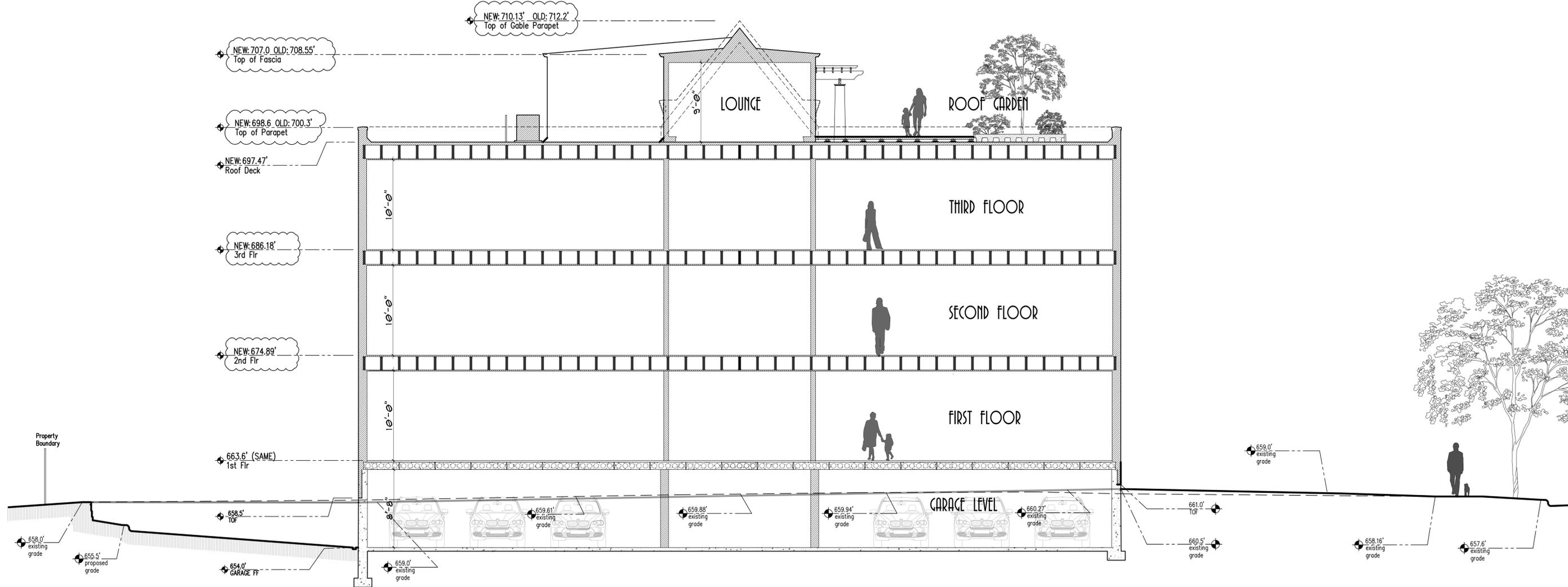
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SHEET OF
A6 12



CROSS SECTION BUILDING & SITE
WEST TO EAST

$\frac{1}{8"} = 1'-0"$

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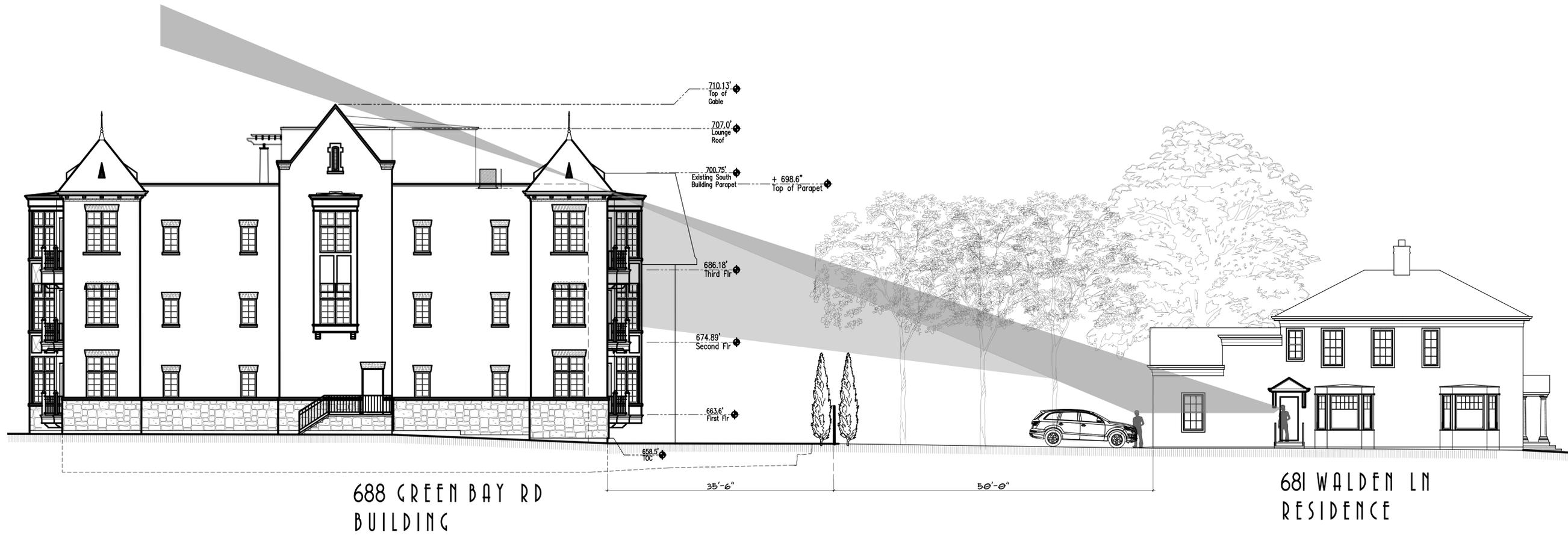
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SHEET OF
A12 12



LINE OF SIGHT STUDY

1/8" = 1'-0"

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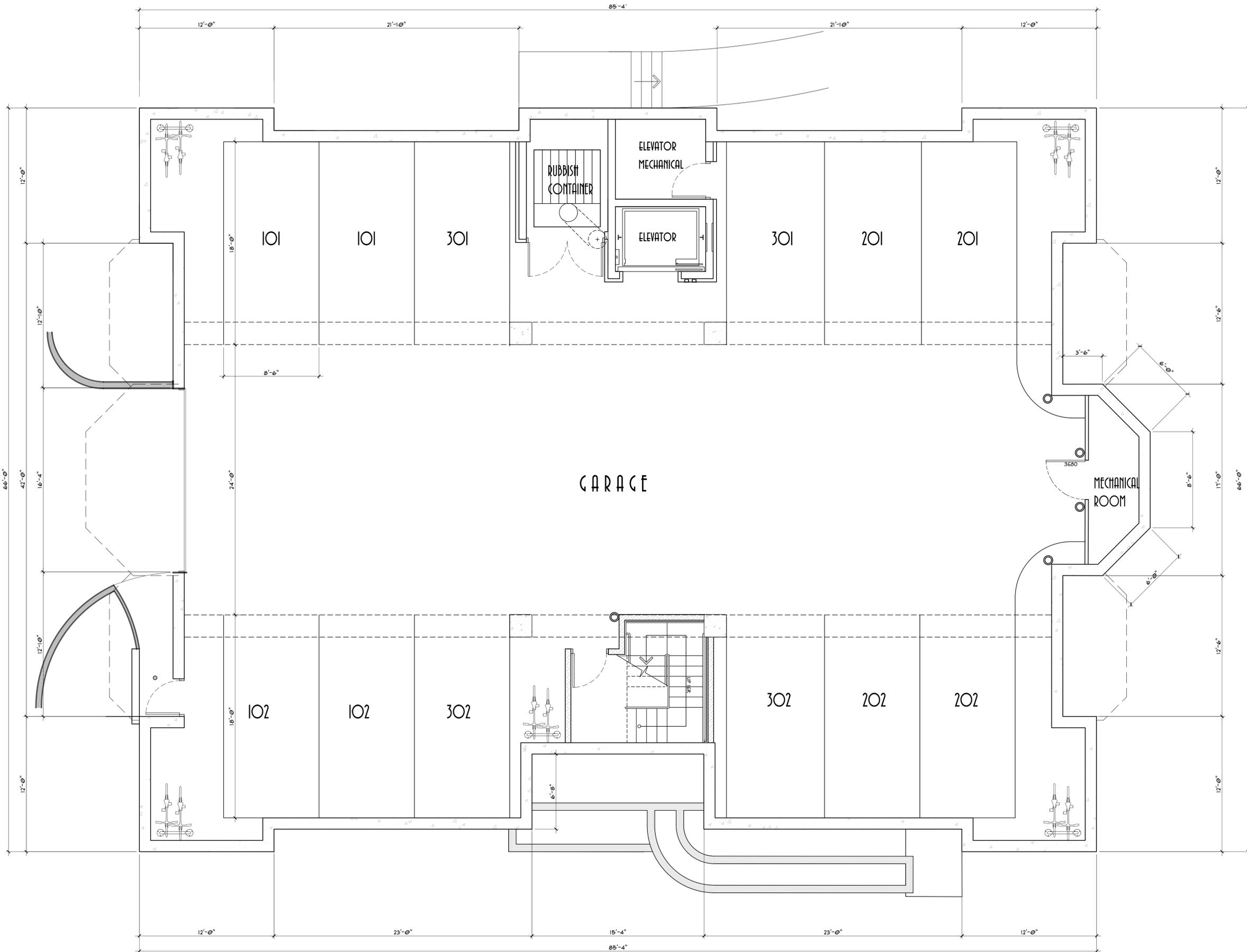
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SHEET OF
 SV1 1



GARAGE FLOOR PLAN

1/4" = 1'-0"

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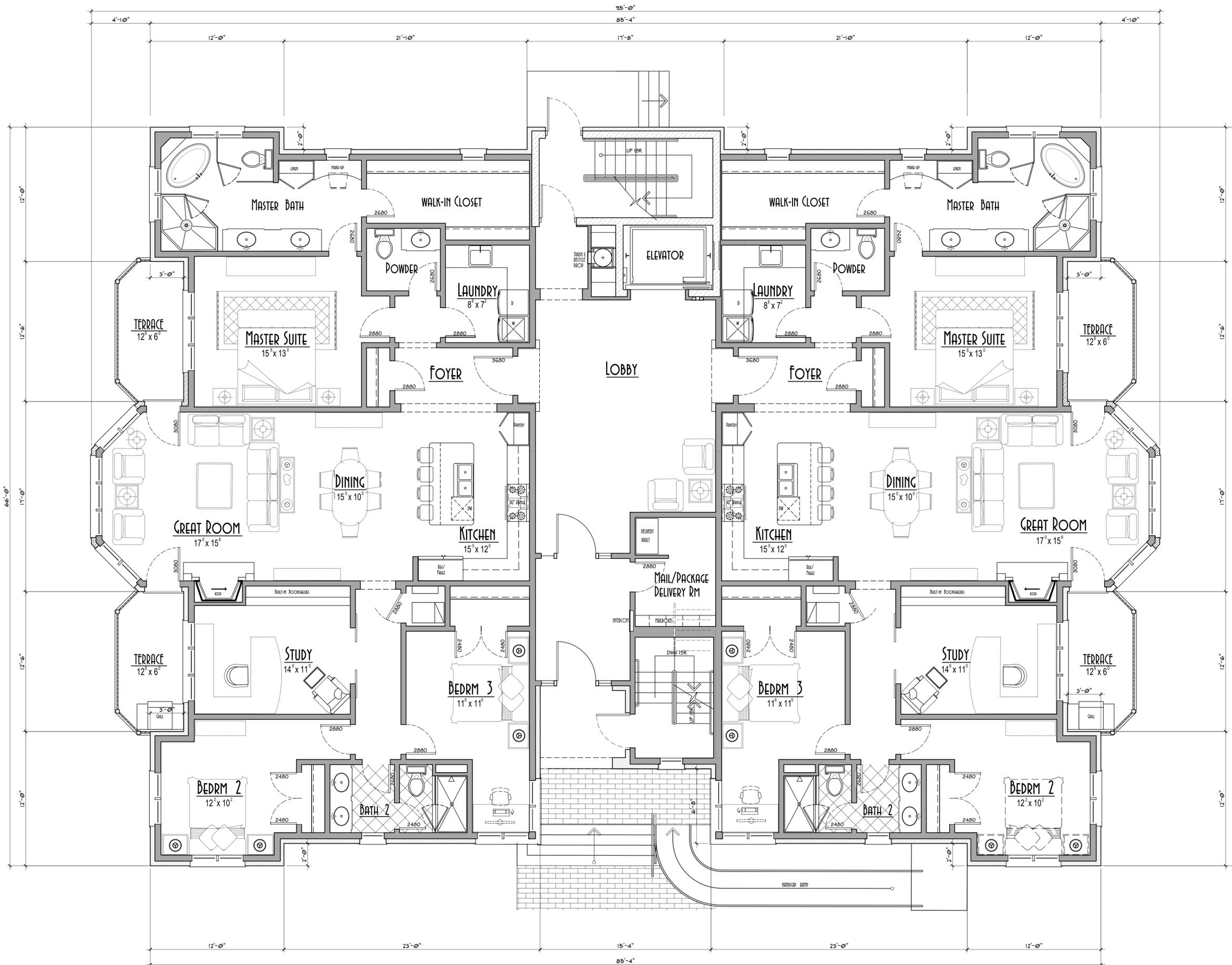
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SHEET **A7** OF **12**



FIRST FLOOR PLAN

1/4" = 1'-0"

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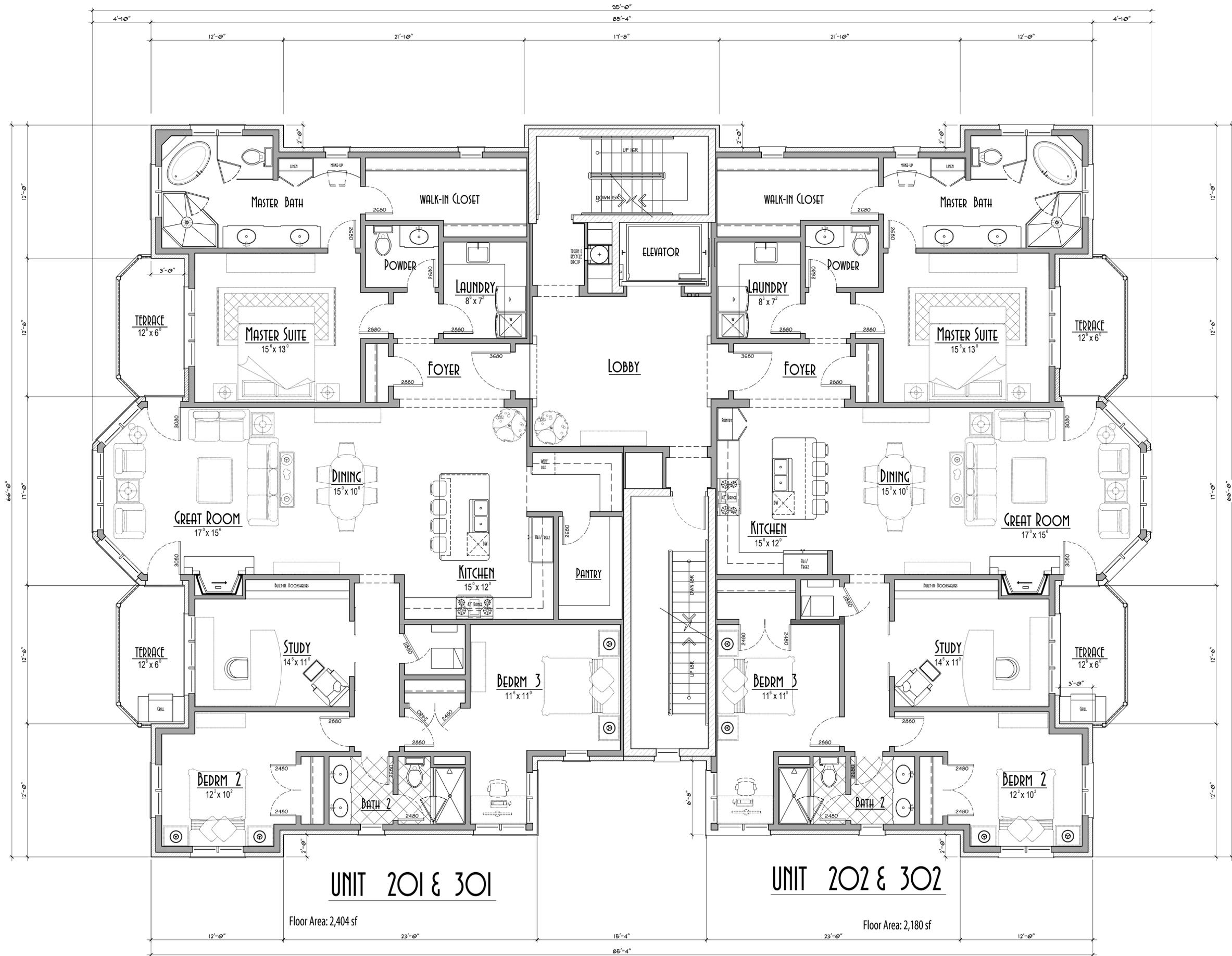
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 JULIO A. VEGA

PREPARED BY:

DATE:	COMMENT:

PLAN NO:
1809

SHEET OF
A8 12



UNIT 201 & 301

Floor Area: 2,404 sf

UNIT 202 & 302

Floor Area: 2,180 sf

SECOND FLOOR PLAN

1/4" = 1'-0"

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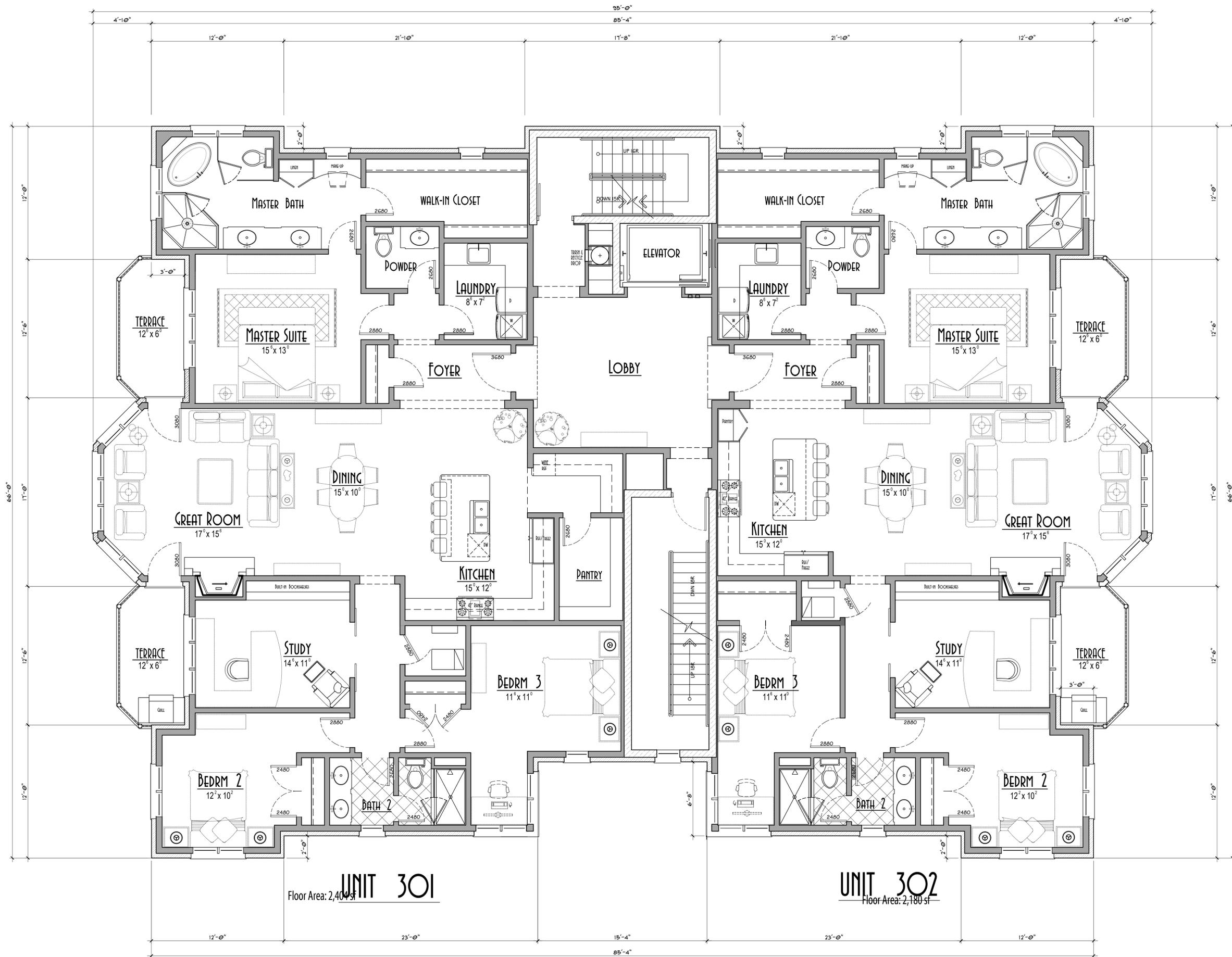
SHEET

A9

OF

12

Page B121



UNIT 301
Floor Area: 2,404 sf

UNIT 302
Floor Area: 2,180 sf

THIRD FLOOR PLAN

1/4" = 1'-0"

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PREPARED BY:

DATE:	COMMENT:

PLAN NO:
1809

SHEET **A10** OF 12

FIRST, SECOND & THIRD FLOOR GFA-PROPOSED

PIECE	DIMENSIONS (FT)	GFA AREA (SF)
A	15.3 x 55.3	846.0
B	(32.0 x 62.0) x 2	3,968.0
C	(7.2 x 17.0) x 2	244.8
D	(3.0 x 10.75) x 4	129.0
E	(12.0 x 2.0) x 4	96.0
F	17.75 x 2.0	35.5
G	(11.5 x 6.0) x 8	552.0
<small>(3rd flr not counted)</small>		
TOTALS PER FLOOR:		
1st FLOOR AREA:		5,595.3
2nd FLOOR AREA:		5,595.3
3rd FLOOR AREA:		5,319.3
ROOF FLOOR AREA:		1,406.0
GROSS BUILDING FLOOR AREA:		17,915.9



GROSS FLOOR AREA FOR 1ST THRU 3RD FLOORS

1/4" = 1'-0"

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 JULIO A. VEGA

PREPARED BY:

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PLAN NO: 1809

SHEET **GF1** OF **2**

Page B124

FOURTH FLOOR GFA-PROPOSED

PIECE	DIMENSIONS (FT)	GFA AREA (SF)
A	13.3 x 32.0	426.0
B	17.2 x 57.0	982.0
TOTALS:		1,406.0
ROOF DECK AREA (not counted)		575.0



GROSS FLOOR AREA FOR THE 4TH FLOOR

1/4" = 1'-0"

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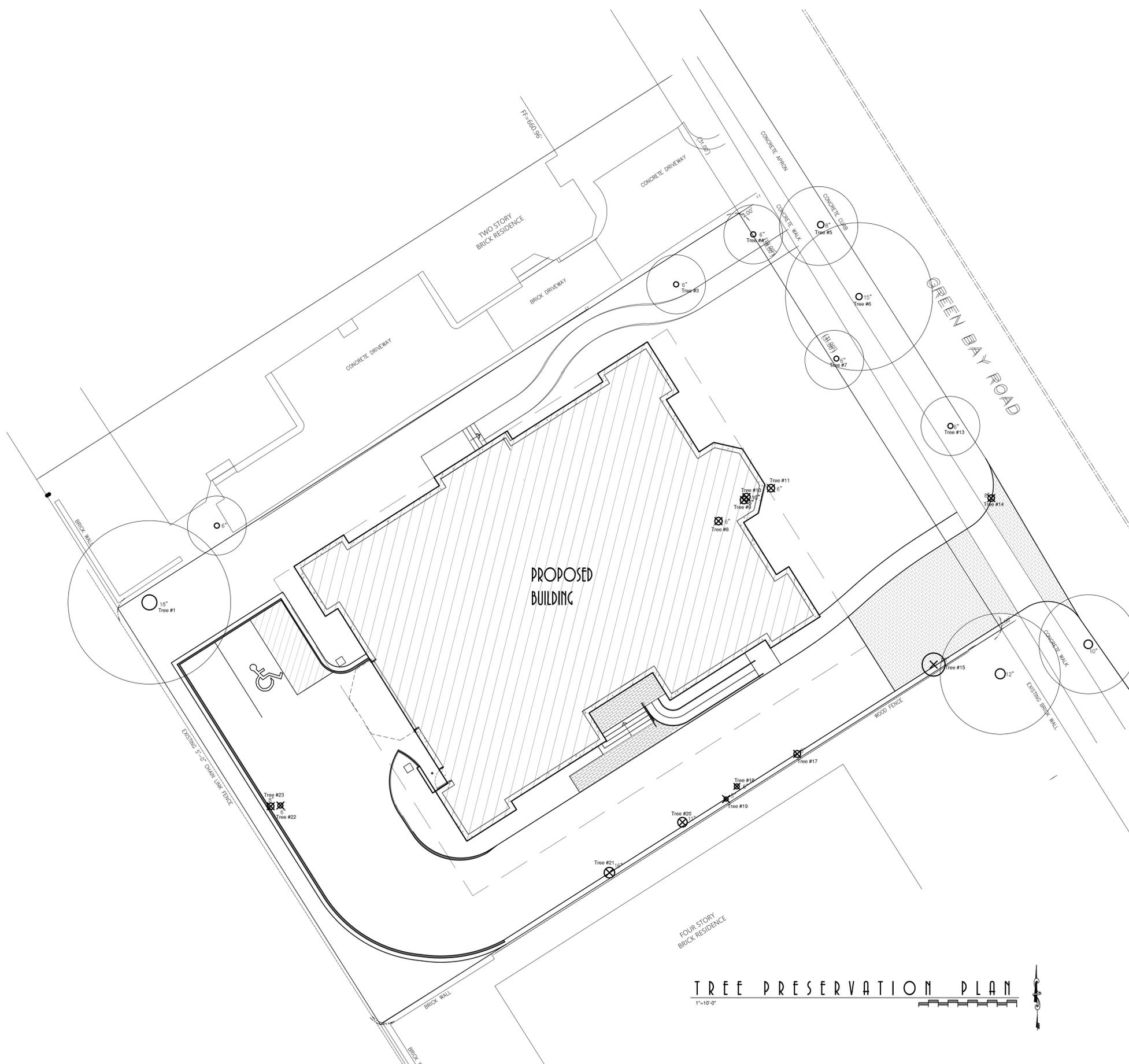
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 JULIO A. VEGA
 PREPARED BY:

DATE:	COMMENT:

PLAN NO:
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SHEET OF
GF2 2



TREE PRESERVATION PLAN

1"=10'-0"

Tree #	Species	Size	Condition	Remarks	Removal	Reason
1	Picea spp.	18"	good		no	
2	Rhamnus cathartica/ Morus spp.	6"/6"	poor/poor		yes	Invasive
3	Acer rubrum spp.	6"	excellent		no	
4	Acer rubrum spp.	6"	excellent		no	
5	Acer spp.	8"	poor		*	Major damage to trunk, branching bad
6	Acer spp.	15"	fair		no	
7	Quercus spp.	6"	good		yes	Utility box access will destroy tree
8	Ulmus spp.	6"	poor		yes	condition
9	Rhamnus cathartica	6"	poor		yes	invasive
10	Ulmus spp.	10"	poor		yes	condition
11	Ulmus spp.	6"	poor		yes	condition
12	Picea spp.	18"	good	top heavy	no	location and leaning
13	Pyrus spp.	6"	fair		yes	location
14	Ulmus spp.	8"	fair	top heavy	yes	location, trunk splits 15' above grade
15	Ulmus spp.	28"	fair		yes	location, size and condition
16	Morus spp.	6"	fair		yes	location, size and condition
17	Morus spp.	8"	fair		*	location, invasive
18	Fraxinus spp.	6"	poor		*	location and small size
19	Ulmus spp.	5"	poor		yes	location and size
20	Ulmus spp.	11"	poor		yes	location and top heavy branching
21	Morus spp.	15"	fair		yes	location and one sided branching
22	Acer nugundo	6"	poor		yes	invasive
23	Acer nugundo	8"	poor		yes	invasive

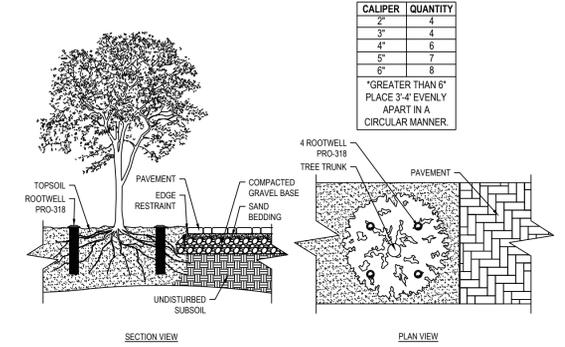
* Village Foretry Department to perform removal of tree and replacement from approved tree plant list
 Cost of removal & replacement shall be at Applicant's expense

GENERAL NOTES:

- ONE TREE-INCH CALIPER TREE WILL BE PLANTED ON THE VILLAGE PARKWAY. THE REMAINING INCHES (28) MUST BE ACCOUNTED FOR THROUGH TREE PLANTING ON THE APPLICANT PROPERTY
- TREE REPLACEMENT IS REQUIRED AND IS BASED ON THE SPECIES AND CONDITION OF TREES TO BE REMOVED. REQUIRED REPLACEMENT SHALL BE AS FOLLOWS:
 - REMOVAL INCHES: 114"
 - REQUIRED REPLACEMENT DEPOSIT: \$7,750.00

TREE PRESERVATION NOTES:

- PROTECTIVE TREE FENCING WILL BE REQUIRED AT EDGE OF CRITICAL ROOT ZONES FOR ALL TREES TO REMAIN. PROTECTIVE FENCING MUST BE 6'-0" CHAIN LINK OR SIMILAR MATERIAL DRIVEN POSTS.
- GRADE CHANGES WITHIN THE TREE PROTECTION ZONES OF ANY PROTECTED TREE ARE PROHIBITED
- NO STOOPING OF ANY MATERIAL FOR ANY PERIOD OF TIME WITHIN TREE PROTECTION ZONES
- NO HEAVY MACHINERY MAY OPERATE WITHIN TREE PROTECTION ZONE DURING ANY PHASE OF CONSTRUCTION PROJECT, INCLUDING AFTER PROTECTIVE TREE FENCING HAS BEEN REMOVED. OPERATING HEAVY MACHINERY WITHIN TREE PROTECTION ZONE WILL RESULT IN A STOP WORK ORDER.

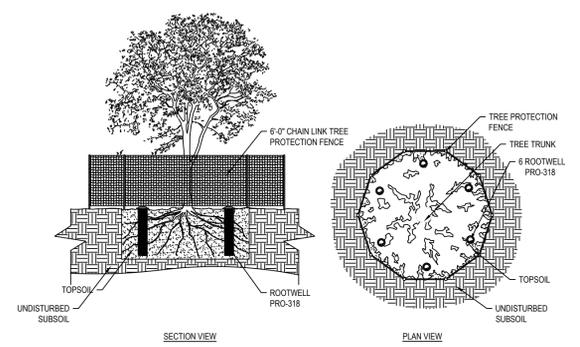


MANUFACTURER NOTES:

- EXISTING TREES REQUIRE THE ROOTWELL TO BE PLACED APPROXIMATELY 2'-5" TO 4" FROM THE TRUNK, OR ON LARGE TREES AS CLOSE AS POSSIBLE. TREE ROOTS ARE NOT AT THE DRIP LINE, BUT ARE MUCH CLOSER TO THE TRUNK WHEN TREES ARE IN STRESS, IN DECLINE, OR IN COMPACTED SOILS.
- USE THE QUANTITY GUIDE ABOVE AND EVENLY SPACE THE ROOTWELLS APART. ON LARGER TREES LOCATE THE ROOTWELLS IN A CIRCULAR MANNER AROUND THE TREE APPROXIMATELY 3'-4" APART. PLACE THE CAP'S TOP LIP FLANGE SO IT IS FLUSH ON THE GROUND TO ALLOW FOR MOWING CLEARANCE.

EXISTING TREE NEXT TO PAVEMENT

NO SCALE



MANUFACTURER NOTES:

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EXISTING TREE PROTECTION

NO SCALE

W. Damon Wilson
Registered Landscape Architect

Resource One
Landscape Architects
7A Hillside Drive Barrington, IL 60010
Phone: 847-942-2727 Wilsonwd@aol.com

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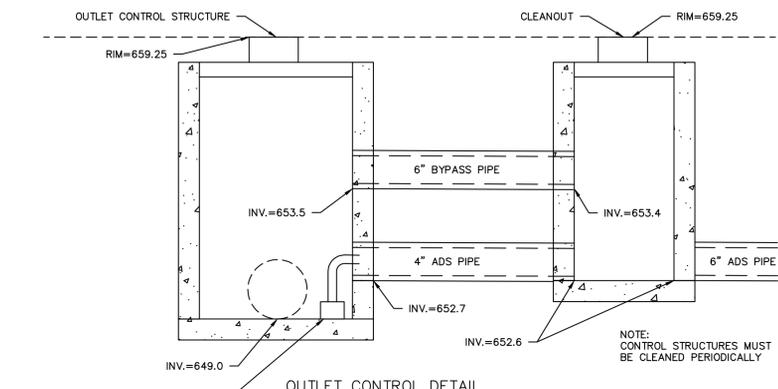
DESIGNED BY:
RICHARD M. SWANSON, AIA
JULIO A. VEGA

PREPARED BY:
JULIO A. VEGA
ARCHITECT

DATE:	COMMENT:

PLAN NO:
1700

SHEET OF
-



DETENTION SUMMARY

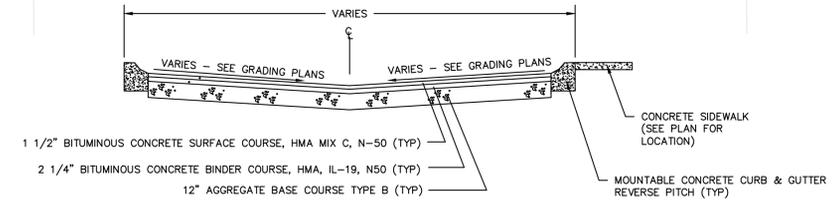
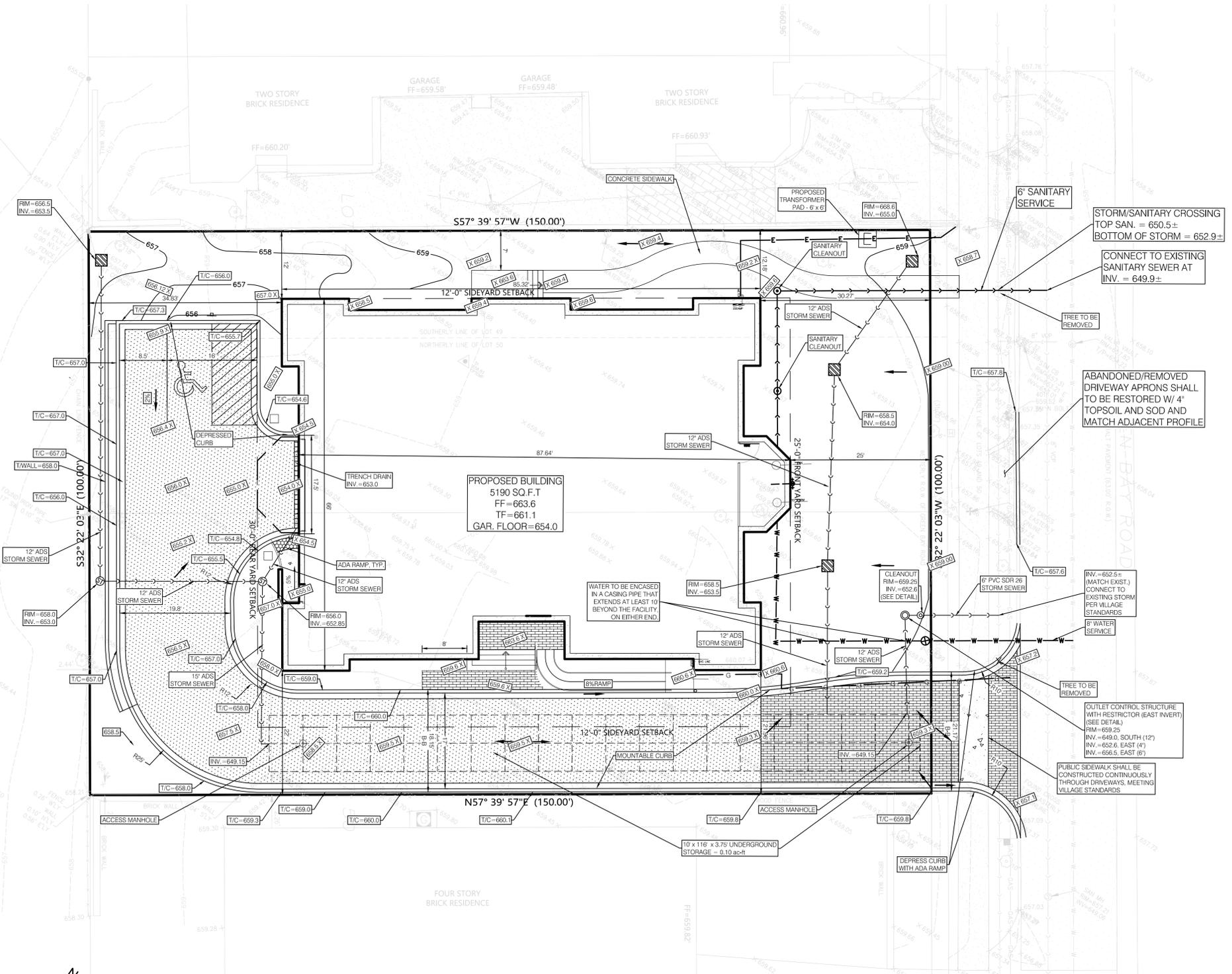
REQUIRED VOLUME = 0.082 AC.-FT (MWRD MODIFIED RATIONAL METHOD)
 PROVIDED VOLUME = 0.10 AC.-FT.
 - UNDERGROUND STORAGE = 0.10 AC.-FT.
 ALLOWABLE RELEASE RATE = $Q = 0.15 \times 3.6 \text{ IN/HR} \times 0.34 \text{ AC.} = 0.18 \text{ CFS}$
 HIGH WATER LEVEL = $649.15 + 3.75 = 652.9$ (GARAGE FLOOR = 654.0)

BASIS OF BEARINGS:
 BEARINGS SHOWN HEREON BASED ON ILLINOIS STATE PLANE COORDINATES, ZONE EAST, N.A.D. 1983

LEGEND

- SIGN
- BOLLARD
- AC UNIT
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ CLEANOUT
- ⊕ POWERPOLE
- ⊕ STORM INLET
- ⊕ STORM MANHOLE
- ⊕ STORM CATCH BASIN
- ⊕ MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ WATER B BOX
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER VALVE VAULT
- ⊕ ELECTRIC PEDESTAL
- ⊕ TELEPHONE PEDESTAL
- ⊕ LIGHT POLE
- ⊕ ELECTRIC TRANSFORMER
- DECIDUOUS TREE
- CONIFEROUS
- BUSH
- PROPERTY LINE
- OHW — OHW — OVERHEAD WIRES
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- W — W — W — EXISTING WATERMAIN
- 674 — — EXISTING CONTOUR
- BSL — — CENTERLINE ROAD
- BUILDING SETBACK LINE
- EASEMENT LINE
- EXISTING TREE LINE
- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING PAVEMENT

BENCHMARK:
 SITE BENCHMARK NUMBER 401
 NORTH FLANGE BOLT AT 694 N. GREEN BAY ROAD.
 ELEVATION=659.52' NAVD88



PREPARED FOR:
REVEST PARTNERS LLC
 745 CONSTANCE LANE
 DEERFIELD, IL 60015

PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land Entitlement - Project Feasibility
 4320 Winfield Drive - Suite 200 Warrenville Illinois 60555
 o: 630-300-0933 c: 630-624-0520

NO.		DATE	DESCRIPTION	REVISIONS		NO.	DATE	DESCRIPTION
1	01-20-20		CHANGES MADE PER ARCH. COMMENTS					
2	01-23-20		REVISED PER VILLAGE LETTER DATED 01-06-20					
3	02-19-20		REVISED PER VILLAGE LETTER DATED 02-07-20					
4	03-11-20		REVISED PER VILLAGE REVIEW					

PRELIMINARY ENGINEERING PLAN
THE WALDEN - 688 GREEN BAY ROAD

FILE NAME: LAYOUT PLAN	DSGN. BY: ESM	JOB NO.:	FLD. BK.:	SHEET NO. C1 of C2
DISC NUM.:	DRN BY: TWA	DATE: 10-29-19	SCALE: 1"=10'	

ATTACHMENT B

Ann Klaassen

From: Terri Heath <[REDACTED]>
Sent: Monday, October 5, 2020 4:40 PM
To: Planning
Subject: Opposing "The Walden" Proposed Variances

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Village of Winnetka:

I am Terri Heath and live at [REDACTED] Walden Road. I would like to oppose the variances that the builder is requesting for a new six-unit multi-family development, referred to as "The Walden," on the proposed construction at adjacent lots located at 688 and 694 Green Bay Road. I acknowledge the need for such housing and do not object to having a multi-unit building there. What I do object to is the size of the variance that is being requested. We have zoning for a reason, and the building should stay within those restrictions. If it were a small zoning variance (e.g., 10%), I would not object, but not such a large one. Having a massive building on a small lot does not fit with Winnetka's character and has a direct impact on our neighborhood's property values. Many of our neighbors, including ourselves, have lived in Winnetka for over 25 years. Why should the builder profit at the expense of long-time Winnetka residents? With such a tall, massive building containing a fourth floor outer deck, our neighborhood's privacy and noise level will be compromised.

Thank you for your consideration of declining the requested zoning variance.

Best regards,
Terri Heath

Sergesketter & Associates Inc.
841 Spruce Street, Suite 205
Winnetka, IL 60093

www.sergesketter.com

[REDACTED]

To the Honorable members of the Planned Development Commission Winnetka:

I am following up (on behalf of the group of neighbors) on the presentation we made at the September 2 Planned Development Commission meeting.

There were a number of concerns raised by adjacent property owners, residents and neighbors of the proposed Walden Winnetka, LLC project.

The height and density of the proposed building will result in major loss of sunlight, a significant violation of privacy and an increase in external lighting and noise during evening hours, especially during evening hours, causing a severe negative impact on the ability of adjacent property owners to enjoy their homes.

Likewise it would cause a substantial loss of real estate value for affected properties. The proposed project will cause a substantial adverse impact on neighboring properties that outweigh the public benefits of the development.

Our concerns and suggestions include, but are not limited to, the following:

- a. A shadow study was done by the developer, however this study was done from certain angles and viewpoints of the neighbors properties by a “friendly” party. Even so, the shadows falling on the properties to the North and West are significant, especially in the winter season. We would recommend that the Commission request the developer produce a light study that shows the light/shadow variance between the impact on the sun/light of a building that complies with zoning height and density requirements (which is roughly 2.5 stories) and the current noncompliant proposed development.
- b. We have heard real estate agents aligned with the developer attest to the need in Winnetka for multi-family buildings in Winnetka (without regards to zoning or compliance with a strategic plan). However, no evidence has been presented about how the proposed project would diminish or impair property values in the immediate vicinity. Again, instead of leaving this to speculation, we recommend that the Commission request the developer to pay for an independent value impact study by a licensed real estate appraiser.
- c. If the zoning exceptions for the proposed development are granted, the logical consequence is that similar exceptions would be granted for the remaining properties on Walden and Green Bay as the issues of height/light/drainage etc. will be similar. We recommend that a study gets done by an independent appraiser to measure the impact on real estate values of those taller buildings on all residences on Walden between Pine and Tower.
- d. The balconies facing the backyards of the properties to the West of the project will result in a significant loss of privacy for those residents and

have a negative impact on their ability to enjoy their homes. We have seen no condo covenants and restrictions for future occupants of the proposed structure that limit night time use, light, noise, debris or other activities. While zoning doesn't presently preclude the construction of balconies, the placement and height of these balconies will have an highly adverse affect on the neighbors to the west and their ability to enjoy the outside use of their homes. We hope that these concerns can be weighed by the commission.

- e. During the Planned Development Commission meeting on September 2 it was suggested that a new strategy for development of the Green Bay Corridor is under consideration. If changes to the Village development strategy or Comprehensive Plan are being contemplated, we recommend that such modifications be completed prior to approval of this project. This would allow everyone to understand why the proposed zoning exceptions for the 688/694 development fit into the Village's long term plans. If changes to the Village's Zoning Code or Comprehensive Plan are not being contemplated, the adjacent property owners respectfully request that the Plan Commission require compliance with the Zoning Code and protect the continued enjoyment of the properties of adjacent residents.

For the foregoing reasons, we respectfully request that you recommend denial of the proposed Walden Winnetka, LLC project or require modifications of the project to reduce its height and density to the levels required by the Village Zoning Code.

Thank you for your time and consideration in this matter.

Ann Klaassen

From: King Poor <[REDACTED]>
Sent: Wednesday, October 7, 2020 3:53 PM
To: Planning
Subject: Opposition to Proposed Zoning Exceptions for The Walden

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Dear Members of the Planned Development Commission,

We are one of some 40 households who have signed a petition opposing the proposed exceptions to the zoning ordinance for The Walden. We have lived at our house at [REDACTED] Walden (a few doors north of the Franks, Montgomerys, and Bushells) for over 30 years and have raised our four children here.

I have also served on the Winnetka Zoning Board of Appeals for five years -- and the last three of those years as its chairman. In addition, I have served four years as a Village Trustee. In my nine years of serving the village, I have heard well over 150 zoning cases.

Winnetka's zoning ordinance goes back almost 100 years. Early on, our village had the vision and public spirit to adopt such an ordinance. The core value underlying our ordinance is this: that the freedom of property owners to use their property as they please must be balanced against the freedom of their neighbors not to have their light, air, privacy, and the value of their property seriously compromised.

I have reviewed the proposed exceptions for this case. And on paper, I found their magnitude to be far out of line for such a project so close to our neighbors. But it was not until I walked down the block and stood in the Montgomery's backyard that I could then fully appreciate just how massive and unfair these exceptions would be to them and the families on either side.

Specifically, these proposed exceptions should be denied for these reasons:

1. A 46-foot structure towering over the neighbors' yards would result in a major loss of sunlight and air circulation.
2. Balconies overhanging so close to their backyards would mean more noise and a significant loss of privacy.

3. Such substantial losses of air, light, and privacy will likely harm their property values.

Taken as a whole, the proposed exceptions would deprive the neighbors of some of the most basic uses and enjoyments of their property. Such exceptions are so contrary to the basic purpose of our zoning ordinance of protecting neighboring homeowners that they should be denied.

Finally, no one is challenging the developer's right to construct multi-family residences here. That is what the ordinance allows. But our ordinance was never intended to permit exceptions such as these. They are simply too much, too close, and fundamentally unfair to the neighbors.

Thank you for your consideration and your service to our village.

Sincerely,

King and Hope Poor
[REDACTED] Walden Rd.
Winnetka



Reply Reply all Forward

Ann Klaassen

From: John Frank <[REDACTED]>
Sent: Wednesday, October 7, 2020 6:00 PM
To: Planning
Cc: [REDACTED]
Subject: Petition to oppose zoning restrictions for The Walden
Attachments: Petition to oppose zoning relief for 688_694 Green Bay Road.pdf

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To whom it may concern,

We wanted to share a petition of local residents who oppose building The Walden as is.

After speaking with our neighbors, in the past week we have had 56 households and at least 74 people who oppose the variances as currently proposed.

Below you can find the addresses who oppose The Walden and attached is each petition.

+++++

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

- Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.
- Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).
- Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

- 797 Walden Road
- 800 Walden Road
- 693 Walden Road
- 631 Walden Road
- 720 Green Bay Road
- 720 Green Bay Road
- 801 Walden Road
- 696 Green Bay Rd.
- 999 Lake Street
- 797 Walden Road
- 669 Walden Road
- 681 Walden Road

680 Walden Road
717 Walden Road
643 Walden Road
717 Walden Road
800 Walden Road
681 Walden Road
635 Blackthorn Road
660 Walden Road
653 Walden Road
696 Green Bay Road
720 Green Bay Road
975 Pine Street
669 Walden Road
630 Walden Road
999 Westmoor Road
661 Blackthorn Road
735 Walden Road
663 Walden Road
650 Walden Road
698 Green Bay Road
777 Walden Road
703 Walden Road
677 Walden Road
792 Walden Road
670 Blackthorn Road
992 Vine Street
788 Walden Road
791 Walden Road
785 Walden Road
670 Blackthorn Road
735 Walden Road
680 Green Bay Rd, #106
680 Green Bay Rd, #204
680 Green Bay Rd, #307
680 Green Bay Rd, #102
680 Green Bay Rd, #103
680 Green Bay Rd, #305
680 Green Bay Rd, #209
680 Green Bay Rd, #109
680 Green Bay Rd, #105
680 Green Bay Rd, #208
680 Green Bay Rd, #104
680 Green Bay Rd, #303
680 Green Bay Rd, #202
680 Green Bay Rd, #206

Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Pamela Coster

Address *

696 Green Bay Rd., Winnetka, IL 60093

E-mail

[REDACTED]

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Google Forms

Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Lynne Frank

Address *

693 Walden Road

E-mail

[REDACTED]

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Tracey McDowell

Address *

999 Lake Street

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 1/2 stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Liz Winemiller

Address *

797 Walden Road

E-mail

[Redacted]

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Max Winemiller

Address *

797 Walden Road

E-mail

[Redacted]

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Brenda Miller

Address *

669 Walden road, Winnetka

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Development Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Liz Winemiller

Address *

797 Walden Road

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 1/2 stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

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Name *

Gordon Montgomery

Address *

681 Walden Road, Winnetka, IL 60093

E-mail

[Redacted]

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

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Name *

Mark Stephan

Address *

680 Walden rd Winnetka

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

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Name *

Christopher Spahr

Address *

717 Walden Road

E-mail

[REDACTED]

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

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Name *

Judith Castellini and Jerry Castellini

Address *

643 Walden Road

E-mail

[Redacted]

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Development Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

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Name *

Alice Spahr

Address *

717 Walden Road Winnetka, IL 60093

E-mail

[REDACTED]

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

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Name *

Alexander Glaser

Address *

800 Walden Road

E-mail

[REDACTED]

This content is neither created nor endorsed by Google.



Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Fredrick A. Belmont

Address *

631 Walden Road; Winnetka, IL 60093

E-mail

[REDACTED]

This content is neither created nor endorsed by Google.



Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

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Name *

Laura Glaser

Address *

800 Walden Rd

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Laura Glaser

Address *

800 Walden Rd

E-mail

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Name *

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Address *

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E-mail

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Name *

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Address *

631 Walden Road; Winnetka, IL 60093

E-mail

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Name *

Claudia Montgomery

Address *

681 Walden Rd

E-mail

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Name *

Liz Winemiller

Address *

797 Walden Road

E-mail

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Name *

Stephanie Wheat

Address *

635 Blackthorn Road

E-mail

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Name *

Gayle Dunn

Address *

660 Walden Rd

E-mail

[Redacted]

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Name *

Allan and Sally Tomlinson

Address *

653 Walden Road

E-mail

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Name *

Fred Tye

Address *

720 Green Bay Rd

E-mail

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Name *

Julie Tye

Address *

720 Green Bay Rd

E-mail

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Name *

Samuel Fifer

Address *

720 Green Bay Road

E-mail

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Name *

Barbara L. Fifer

Address *

720 Green Bay Road

E-mail

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Name *

Ruud Coster

Address *

696 Green Bay Rd, Winnetka, IL 60093

E-mail

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Name *

Isabel C. Rivera

Address *

720 Green Bay Rd, Winnetka

E-mail

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Name *

Christina Self

Address *

975 Pine Street

E-mail

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Name *

Josh Miller

Address *

669 Walden road, Winnetka

E-mail

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Name *

Terri Heath

Address *

630 Walden Road, Winnetka, IL 60093

E-mail

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Name *

Phil Shelton

Address *

999 Westmoor Road

E-mail

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Name *

Sara Roitman

Address *

661 Blackthorn Road, Winnetka IL 60093

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Hope Poor

Address *

735 Walden Road

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Jean Golden

Address *

663 Walden Road

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Virginia Holt

Address *

650 Walden Rd. Winnetka, IL

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Laurin Starck

Address *

698 Green Bay road , winnetka, Il

E-mail

[Redacted]

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

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Name *

Megan Braden Chappell

Address *

777 Walden Road

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Rosanne Groeneveld-Meijer

Address *

703 Walden Rd, Winnetka

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Mary Jo Bushell

Address *

677 Walden Road

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Bridget Albertson

Address *

792 Walden Road

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Brett Harrison

Address *

670 Blackthorn Rd

E-mail

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Name *

Carrie Robinson

Address *

992 Vine Street

E-mail

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Name *

John Frank

Address *

693 Walden Road

E-mail

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Name *

Schafer

Address *

788 Walden rd

E-mail

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Name *

Colette Quackenbush

Address *

801 Walden Road

E-mail

[Redacted]

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Name *

William Ake

Address *

791 Walden Rd

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Laura Janssen

Address *

785 Walden Road

E-mail

[Redacted]

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Name *

Hannah Harrison

Address *

670 Blackthorn Road

E-mail

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Name *

King and Hope Poor

Address *

735 Walden Rd

E-mail

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Name *

Colette Quackenbush

Address *

801 Walden Road

E-mail

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Name *

Kevin and Theresa Golden

Address *

680 Green Bay Rd, #106

E-mail

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Name *

John and Roseanne Madden

Address *

680 Green Bay Rd, #204

E-mail

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Name *

Alice McGowan

Address *

680 Green Bay Rd, #307

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Nancy Geary

Address *

680 Green Bay Rd, #102

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

By signing this petition, I do not support the requested zoning standard exceptions currently proposed by "The Walden" development, located at 688/694 Green Bay Road. I strongly urge the Planned Developed Commission to reconsider the requested variances, notably:

-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

-Impermeable Lot Coverage (seeking 24.1% variance): The proposed impermeable lot coverage (building footprint and paved surfaces) is 11,168.7 square feet, exceeding the amount allowed by 2,168.7 square feet (24.1%). While the Developer will be required to provide storm water detention, we have not yet seen a water study. We, like many of you, have spent considerable time, resources and dollars to address water issues and want to ensure that the introduction of such a large structure with the proposed below-grade parking will not cause additional water displacement to our properties.

Name *

Mary Alice Houlihan

Address *

680 Green Bay Rd, #103

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 1/2 stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

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Name *

Bob and Christine Nicolazzi

Address *

680 Green Bay Rd, #305

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

-Maximum Building Height Variation (seeking 32.9% variance on height, 60.0% on # of stories): The maximum building height for the Zoning Districts is 35 feet and 2 ½ stories. The proposed building height is currently 46.5 feet and 4 stories, requiring a variation of 11.5 feet over (32.9%) and 1.5 stories over (60.0%).

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Name *

Hugh and Pat Mulligan

Address *

680 Green Bay Rd, #209

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

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Name *

Chris and Pat O'Donnell

Address *

680 Green Bay Rd, #109

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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-Maximum Building Size Variation (seeking 49.3% variance): The proposed building consists of approximately 17,915.9 square feet of gross floor area (GFA), requiring a variation of 5,915.9 square feet (49.3%). In our opinion, the proposed development is grossly oversized for this combined smaller lot.

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Name *

Neal Peterson and Mary Ellen Stanfield

Address *

680 Green Bay Rd, #105

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Phyllis Shelton

Address *

680 Green Bay Rd, #208

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Navonna Moran

Address *

680 Green Bay Rd, #104

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

James and Mary Minoque

Address *

680 Green Bay Rd, #303

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Judy Hamilton Godfrey

Address *

680 Green Bay Rd, #202

E-mail

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Petition to oppose zoning relief for 688/694 Green Bay Road

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Name *

Tom and Beverly Malatasta

Address *

680 Green Bay Rd, #206

E-mail

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Ann Klaassen

From: Fred Belmont <[REDACTED]>
Sent: Monday, October 12, 2020 5:40 PM
To: Planning
Subject: "The Walden" Proposed construction at 688 and 694 Green Bay Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

As residents of Walden Road between Westmoor Road and Pine Street, we strongly oppose the variances - height and square footage - to the proposed project at 688/694 Green Bay. The proposed height will exceed the height of many trees on our street. Many of these trees would no longer be visible during our walks on Green Bay. Further, the size of the units and their associated prices will likely exclude younger first time buyers.

The project screams of "Bigger and More." This is not the Winnetka we moved into decades ago.

While we applaud the owner's desire to maximize profits, we do not want these profits to be at the expense of the community.

Please contact us if you need additional input to our opposition.

Fredrick and Anne Belmont

[REDACTED] Walden Road

Sent from my iPhone

Ann Klaassen

From: Tim Cawley <[REDACTED]>
Sent: Monday, October 12, 2020 12:47 PM
To: Planning
Cc: Carol
Subject: Stop The Walden

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Members of the Planning Commission

Please do not allow the zoning changes on Green Bay Road between Pine and Tower! The negative impact to our neighbors on Walden would be severe and unfair.

We lived at [REDACTED] Walden Road from 1990 to 2002, but then moved to our current home on Blackthorn. One of the reasons we moved was that the *current* ordinance allows development on Green Bay that concerned us, although we accepted that it was within the law. The idea that you would allow even larger developments along that corridor is completely inconsistent with the way our Village should be treating long-time residents like the Montgomerys (currently at 681) and Bushells (next door at #677).

There are other places for large residential developments in the Village, like the One Winnetka location and post office property. Those won't tower over single family homes and yards like the Green Bay Road proposal. We urge you to stop it.

Tim and Carol Cawley
[REDACTED] Blackthorn Road

Ann Klaassen

From: Chris Spahr <[REDACTED]>
Sent: Monday, October 12, 2020 5:11 PM
To: Planning
Cc: Alice
Subject: The Walden

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello. I hope you are well.

My family and I have lived at [REDACTED] Walden Road for over 20 years. Our house is located several north of the proposed development for The Walden. When I purchased our property, I researched Winnetka's ordinance regarding height and site density, as our property backs up to what could in the future could also become a multifamily development. At the time, I took solace in the fact that the ordinance appeared to have reasonable limits to prevent a dense, hovering property behind ours and that of our neighbors. The variances requested for The Walden, if approved, would be exactly the kind of exceptions I would have never felt possible in this community today.

While I agree that Winnetka should have more multifamily development, it would appear that the exceptions requested would merely drive developer returns by jamming more units into a small site, at the expense of privacy, light and sightlines for the adjacent single family residents on Walden Road. The project's massing and proposed height would not only damage views from our street and backyards, but would also have a negative impact upon the value of our homes. This would be completely inequitable in my view, and set a dangerous precedent going forward.

People chose to buy houses on Walden Road, in part for the bucolic and historical feel of this classic Winnetka street. The value of the properties along the southern portion of our street - which back up to the Mews - were negatively impacted by the massing of that towering development, and the same will happen if the variances for the Walden are approved. We and our neighbors have collectively invested millions of dollars to live here, and I would hope that the city would do its best to help us preserve not only the historic nature of our street, but also the value of these investments.

I would look forward to discussing this with you at your convenience. Thank you.

CHRISTOPHER SPAHR

AHR G R O W T H P A R T N E R S
312 656 8217 | cspahr@ahrgrowthpartners.com

220 NORTH GREEN STREET
CHICAGO, IL 60607
www.ahrgrowthpartners.com

Ann Klaassen

From: Mark Stephan <[REDACTED]>
Sent: Monday, October 12, 2020 1:27 PM
To: Planning
Subject: Green Bay project between Pine and Westmor

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Neighbors,

I am truly grateful for the time that you all individually commit to our village.

As a long time resident of Walden road (27years) I am deeply concerned about the condo project proposed on Greenbay road.

I understand the challenges a developer faces to bring a profitable project to market but the scope and potential changes to zoning code do nothing but negatively affect every single existing neighbor, who will lose privacy, sunlight, air quality and suffer a potential devaluation of their homes.

For what???? One builder benefits. This is a clear example of reason why we have specific zoning codes, I understand the desire and the need to make exceptions (One Winnetka) but this is not that time.

Respectfully,
Mark Stephan
[REDACTED] Walden

Mark Stephan
[REDACTED]

Sent from my iPhone

Ann Klaassen

From: Allan Tomlinson <[REDACTED]>
Sent: Tuesday, October 13, 2020 10:47 AM
To: Planning
Cc: Sally Tomlinson
Subject: Comments of zoning exceptions for The Walden

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To members of the Planned Development Commission:

As residents of Walden Rd, and neighbors of the Montgomery's, we strongly oppose granting the requested variances on the building height or size of the proposed development of The Walden from the existing regulations. Our house backs up to the Winnetka Mews which was built with different ordinances in place. However, it towers over our backyard with balconies overlooking our space and reduces our privacy. We bought our house knowing this issue but the ordinance was obviously changed for a reason and providing exceptions completely undercuts the original intent and logic. The Montgomery's have been in their house for almost 20 years and it would be unfair to detract from their privacy, enjoyment and property value for the benefit of a developers profit.

Sincerely,
Allan and Sally Tomlinson
[REDACTED] Walden

Ann Klaassen

From: Max Winemiller <[REDACTED]>
Sent: Tuesday, October 13, 2020 8:35 AM
To: Planning
Subject: Proposed Building Green Bay Road from Pine to Tower

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Members of the Planned Development Commission,

We are one of some 40 households who have signed a petition opposing the proposed exceptions to the zoning ordinance for Walden. We have lived at our house at 797 Walden for about 1 year and are raising our 3 children here. We chose to move to Winnetka for the beautiful historic homes, wonderfully large mature trees, open air without high rises, and children friendly atmosphere created by single-family friendly homes.

We have been informed that Winnetka's zoning ordinance goes back many years and we are thankful, that it protects home & property owners, and the spirit of Winnetka. Many like us, have made significant investments to move here, as opposed to more affordable areas, for the reasons I stated above, yet also because we all moved here assuming that the Village would uphold the vision of this area, and not bring in large apartments, low income housing, or even high income non-single family home housing to appease builders and developers, out to turn another historic family oriented area into a revenue generator, that ultimately completely changes the charm of the area, for those already living here.

The proposed exception to build on Green Bay Road from Pine to Tower is far out of line of the village & property owners vision, and can not be realistically considered, as it stands to ruin much of the charm of this area, and will ruin the visibility, sunlight, and also create a loss of privacy of Walden Road. When we first were thinking of moving here, we talked about Walden Road, and people would say, "Oh, We love Walden Road!, It's the best road in Winnetka, with all the winding, and trees". We quickly found out what they were talking about, and agree 100%. Those types of experiences will cease to exist, if you allow builders to ruin the road's appeal by building a structure on Green Bay.

The proposed exceptions would deprive us and our neighbors of some of the most basic uses and enjoyments of their property. Such exceptions are so contrary to the basic purpose of Winnetka's zoning ordinance of protecting neighboring homeowners that they should be denied.

Thank you for your consideration and your service to our village.

Sincerely,

Liz & Max Winemiller

■ Walden Rd.

Winnetka

Ann Klaassen

From: John Madden, Jr. <[REDACTED]>
Sent: Wednesday, October 14, 2020 11:35 AM
To: Planning
Subject: Proposed Development at 688-694 GB Rd

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I am a resident of 680 Green Bay Rd since 2013.

While there are a number of very attractive features of the proposed development, it is simply too large, too tall and too massive for the two small lots included in the design.

The developer has made only minor adjustments to his proposal --- none of major consequence.

Please do not allow this proposal to proceed without major modifications.

John Madden Jr

Ann Klaassen

From: Gordon Montgomery <[REDACTED]>
Sent: Wednesday, October 14, 2020 11:37 AM
To: Planning
Cc: [REDACTED]
Subject: The Walden: proposed variances for development at 688/694 Green Bay Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Members of the Planned Development Committee

Almost 18 years ago, my wife and I bought our home at [REDACTED] Walden Road. It is one of the houses that borders the proposed development to the west and we will be one of houses most directly affected by the proposed exceptions to our zoning ordinance. When we bought the property, we did so knowing that the older home to our east might someday come down. But we also did so with the implicit trust and understanding that Village zoning law would keep any future structure within reasonable scale.

I could tell you all the ways that the proposed exceptions would deprive our family of light, air, and would loom over us with noise and a loss of privacy. But until you actually stand in our backyard, I don't believe that you can fully appreciate what we and our neighbors stand to lose. ***So, I ask you, before you make any decision that can affect our home and our neighborhood so seriously, that you please visit our property for yourselves.*** Here is my mobile #: 312.296.3744. I'm glad to arrange a visit at any of your individual conveniences.

One example of the need to visit in person has to do with topography. What you see on paper (or your screen) does not depict that the property to the east of us is located on a ridge. And that's very important here. Because that ridge means that Walden Road, as our neighbors would tell you, was once a stream. That's why Walden (and its continuance on Provident) form one of the few winding streets in our village. As a result, we and our neighbors all live along that long-ago stream bed under that long-ago ridge.

Living under that ridge means the proposed 48-foot exception (already 13 feet above that the law allows) is in reality far more than that for us. What's more, not only will we lose all of our morning sun, but we will have six balconies designed for outdoor use and entertaining literally looking down into our now private backyard patio. All sense of private dwelling space for our home will be lost.

We're not looking to halt reasonable development that complies with existing standards. That said, we're also looking for the Village to protect our interests as residents and tax payers by upholding the zoning requirements that we trusted in buying and investing in our Walden home.

With appreciation for your service,

Gordon & Claudia Montgomery
[REDACTED] Walden Road

--

Gordon Montgomery

Skype: gordon.montgomery3